



Arlington Zoning Board of Appeals

Date: Tuesday, March 12, 2024
Time: 7:30 PM
Location: Conducted by Remote Participation
Additional Details:

Agenda Items

Administrative Items

1. **Conducted Remote Participation**

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the Arlington Zoning Board of Appeals meetings shall be physically closed to the public to avoid group congregation until further notice. The meeting shall instead be held virtually using Zoom.

Please read Governor Healey's Executive Order Suspending Certain Provision of Open Meeting Law for more information regarding virtual public hearings and meetings: Massachusetts Open Meeting Law

For additional information on Arlington's Zoning Board please visit their website. Reference material for this meeting will be available 48 business hours prior to the meeting and may be viewed on the Board's Agendas and Minutes page.

Per Board Rules and Regulations, public comments will be accepted during the public comment periods designated on the agenda. Written comments may be provided by email to ZBA@town.arlington.ma.us 48 hours prior to the start of the meeting.

You are invited to a Zoom meeting.
When: Mar 12, 2024 07:30 PM Eastern Time (US and Canada)

Register in advance for this meeting:
<https://town-arlington-ma-us.zoom.us/meeting/register/tZ0rd--qpjsuG9TDQcgG6eR8D0M8djvqdQC>

After registering, you will receive a confirmation email containing information about joining the meeting.

2. **Members Vote: Approval of Decision Docket #3785 51 Burch Street**
3. **Members Vote: Approval of Decision Docket #3784 71 Egerton Road**
4. **Members Vote: Approval of Decision Docket #3786 19 Chatham Street**

Hearings

5. **Docket #3779 9 Morton Road (continuance)**
6. **Docket #3781 165 Franklin Street (continuance)**

Meeting Adjourn



Town of Arlington, Massachusetts

Conducted Remote Participation

Summary:

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the Arlington Zoning Board of Appeals meetings shall be physically closed to the public to avoid group congregation until further notice. The meeting shall instead be held virtually using Zoom.

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Town of Arlington, Massachusetts

Members Vote: Approval of Decision Docket #3785 51 Burch Street



Town of Arlington, Massachusetts

Members Vote: Approval of Decision Docket #3784 71 Egerton Road



Town of Arlington, Massachusetts

Members Vote: Approval of Decision Docket #3786 19 Chatham Street



Town of Arlington, Massachusetts

Docket #3779 9 Morton Road (continuance)

ATTACHMENTS:

Type	File Name	Description
▢ Reference Material	#3779_9_Morton_Road_Variance.pdf	#3779 9 Morton Road Variance
▢ Reference Material	#3779_9_Morton_Road_Legal_Notice.pdf	#3779 9 Morton Road Legal Notice
▢ Reference Material	#3779_9_Morton_Road_Special_Permit.pdf	#3779 9 Morton Road Special Permit
▢ Reference Material	PlotPlan-3-Driveway.pdf	Certified Plot Plan-3-Driveway
▢ Reference Material	Plot_Plan_with_shed_placement.pdf	Plot Plan with shed placement
▢ Reference Material	9_Morton_Road_Shed_Rendering.pdf	#3779 9 Morton Road Shed
▢ Reference Material	ZBA_Continuation_Request_-_Letter_3-12-24_mtg.pdf	#3779 ZBA Continuation Request 3-12-24 mtg



V-23-4

Variance Permit Application (ZBA)

Status: Active

Submitted On: 11/21/2023

Primary Location

9 MORTON RD
Arlington, MA 02476

Owner

GREGORIO ANTHONY J;
GREGORIO KATHARINE M
9 MORTON ROAD
ARLINGTON, MA 02476

Applicant

 Kate Gregorio
 +1 315-382-0559
 @ katemgregorio@gmail.com
 9 Morton Rd
Arlington, MA 02476

Special Permit Criteria

Describe the circumstances relating to the soil conditions, shape, or topography especially affecting such land or structures but not affecting generally the Zoning District in which it is located that would substantiate the granting of a Variance.*

Our property boundary has a unique shape which tapers toward the back, and has a number of mature trees/plantings that result in limited space available for construction. The irregular shape of our lot restricts our ability to meet the standard 6' setbacks required by the Zoning Bylaw.

Describe how a literal enforcement of the provisions of the Zoning Bylaw, specifically relating to the circumstances affecting the land or structure noted above, would involve substantial hardship, financial or otherwise, to the Petitioner or Appellant.*

Strict enforcement of the 6' setbacks would create substantial hardship for our plans. Adhering to these setback requirements would force us to significantly reduce the size of the accessory dwelling unit or even prevent us from constructing it altogether. This reduction in living space could negatively impact the functionality and long-term usability of the ADU.

Describe how desirable relief may be granted without substantial detriment to the public good. *

Granting this variance would not be detrimental to the public good. The proposed ADU will comply with all other aspects of the Zoning Bylaw, including height, lot coverage, and design standards. Furthermore, it aligns with the town's encouragement of ADU development (Section 5.9.2 A). Our neighbors have expressed support for the project, and we have taken steps to ensure that the ADU's design is in harmony with the surrounding properties.

Describe how desirable relief may be granted without nullifying or substantially derogating from the intent or purpose of the Zoning Bylaw of the Town of Arlington, Massachusetts.*

Granting this variance would not nullify or substantially derogate from the intent of the Zoning Bylaw. The primary purpose of the setback requirements is to ensure adequate spacing between structures for safety and aesthetics. The proposed ADU will maintain a reasonable distance from adjacent properties and will not compromise safety or the aesthetic character of the neighborhood. Additionally, it supports the town's policy to promote accessory dwelling units as a means to address housing needs while respecting the existing neighborhood context.

In more detail:

- We will still have 3.5'+ setbacks on all sides which is more than some other ADUs in Arlington (which have either been granted Variance Permits or Special Use Permits).
- Many of our neighbors have out-buildings within 3' of our property lines.
- This structure would still be more than 100' away from any other dwellings due to the lot sizes of the neighboring properties.
- Most neighbors wouldn't be able to see it at all due to the trees and privacy property fence already in place.

State Law (MGL Chapter 40a, Section 10) requires that the Zoning Board of Appeals must find that all four (4) criteria are met in order to be authorized to grant a Variance. If any one of the standards is not met, the Board must deny the Variance.

Dimensional and Parking Information

Present Use/Occupancy *

Residential

Proposed Use/Occupancy *

Residential

TOWN OF ARLINGTON
Dimensional and Parking Information
For Applications to the Zoning Board of Appeals

1. Property Location: 9 Morton Rd Zoning District: R1
2. Present Use/Occupancy: SF Residential No. of dwelling units 1
3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
2250 Sq. Ft.
4. Proposed Use/Occupancy: Residential No. of dwelling units 2 (1 SFR + 1 ADU)
5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
2450 Sq. Ft.

	Present Conditions	Proposed Conditions	Min. or max Required by Zoning
6. Lot size (Sq. Ft.)	7744	7744	min. 6000
7. Frontage (Ft.)	80	80	min. 60
8. Floor area ratio	.29	.31	max. .35
9. Lot Coverage (%)	.145	.158	max .35
10. Lot Area per Dwelling Unit (Sq. Ft.)	7744	3872	min.
11. Front Yard Depth (Ft.)	-	-	min.
12. Left Side Yard Depth (Ft.)	-	3.5	min. 6
13. Right Side Yard Depth (Ft.)	-	3.5	min. 6
14. Rear Side Yard Depth (Ft.)	-	3.5	min. 6
15. Height (Stories)	-	1	max. 2.5
16. Height (Ft.)	-	10'	max. 35'
17. Landscaped Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	5780	5580	
17A. Landscaped Open Space (% of GFA)	74%	72%	min.
18. Usable Open Space (Sq. Ft.) Refer to Section 2 in the Zoning Bylaw.	4875	4409	
18A. Usable Open Space (% of GFA)	63%	57%	min.
19. Number of Parking Spaces	4	4	min.
20. Parking area setbacks (if applicable)	-	-	min.
21. Number of Loading Spaces (if applicable)	-	-	min.
22. Type of construction	-	V	N/A
23. Slope of proposed roof(s) (in. per ft.)	-	2.4/12	min.

]

*

TOWN OF ARLINGTON
 Open Space / Gross Floor Area Information
 For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: 9 Morton Rd Zoning District: R1

<u>OPEN SPACE*</u>	EXISTING	PROPOSED
Total lot area	<u>7744</u>	<u>7744</u>
Open Space, Usable	<u>4875</u>	<u>4409</u>
Open Space, Landscaped	<u>5780</u>	<u>5580</u>

* Refer to the Definitions in Section 2 of the Zoning Bylaw.

GROSS FLOOR AREA (GFA) †

Accessory Building	<u>-</u>	<u>200</u>
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	<u>1125</u>	<u>1125</u>
1 st Floor	<u>1125</u>	<u>1125</u>
2 nd Floor	<u> </u>	<u> </u>
3 rd Floor	<u> </u>	<u> </u>
4 th Floor	<u> </u>	<u> </u>
5 th Floor	<u> </u>	<u> </u>
Attic (greater than 7'-0" in height, excluding elevator machinery; or mechanical equipment)	<u> </u>	<u> </u>
Parking garages (except as used for accessory parking or off-street loading purposes)	<u> </u>	<u> </u>
All weather habitable porches and balconies	<u> </u>	<u> </u>
Total Gross Floor Area (GFA)	<u>2250</u>	<u>2450</u>

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

REQUIRED MINIMUM OPEN SPACE AREA

Landscaped Open Space (Sq. Ft.)	<u>5780</u>	<u>5580</u>
Landscaped Open Space (% of GFA)	<u>74%</u>	<u>72%</u>
Usable Open Space (Sq. Ft.)	<u>4875</u>	<u>4409</u>
Usable Open Space (% of GFA)	<u>63%</u>	<u>57%</u>

This worksheet applies to plans dated n/a designed by n/a

Reviewed with Building Inspector: _____ Date: _____



Town of Arlington
Zoning Board of Appeals
23 Maple Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.2A of the Zoning Bylaws that there has been an application filed by **Kate and Anthony Gregorio** of Arlington, MA. On November 21, 2023 a petition seeking permission to alter their property located at **9 Morton Road - Block Plan 135.0-0001-0006.0**. Said petition would require a Variance under **Section 5.9.2(B)(1)(Paragraph 5)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M on January 23, 2024 as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:**
<https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

DOCKET NO 3779

Zoning Board of Appeals
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**



SP-24-1

Special Use Permit Application (ZBA)

Status: Active

Submitted On: 1/23/2024

Primary Location

9 MORTON RD
Arlington, MA 02476

Owner

GREGORIO ANTHONY J;
GREGORIO KATHARINE M
9 MORTON ROAD
ARLINGTON, MA 02476

Applicant

 Kate Gregorio
 +1 315-382-0559
 @ katemgregorio@gmail.com
 9 Morton Rd
Arlington, MA 02476

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.*

Sections 5.3.13 and 5.9.2

Explain why the requested use is essential or desirable to the public convenience or welfare.*

The primary use will be as an extended office space for the current occupants of the existing home, reducing traffic and emissions required for commuting to an office elsewhere. Secondary use will be as a living space for one of our parents, should they fall ill or unable to care for themselves, allowing our parents to age in place with us.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

Neither the primary or secondary use would include any additional vehicles, and would in fact reduce traffic congestion. As far as pedestrian safety, the access point will be through our primary home's back door -- which should not impact public pedestrian traffic in any way.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

Our home currently houses 4 occupants in 4 bedrooms. This additional structure would not increase the occupancy unless one of our parents moves in, in which case the occupancy for the entire property would remain capped at 5 people, which is well within the load intended for a single family house in R1 zoning.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

Section 8.1.6 : Reduction or Increase

We are requesting a variance in setback regulations, from 6 feet to 3.5 feet. Our property boundary has a unique shape which tapers toward the back, and has a number of mature trees/plantings that result in limited space available for construction. The irregular shape of our lot restricts our ability to meet the standard 6' setbacks required by the Zoning Bylaw.

Strict enforcement of the 6' setbacks would create substantial hardship for our plans. Adhering to these setback requirements would force us to significantly reduce the size of the accessory dwelling unit or even prevent us from constructing it altogether. This reduction in living space could negatively impact the functionality and long-term usability of the ADU.

Granting this variance would not be detrimental to the public good. The proposed ADU will comply with all other aspects of the Zoning Bylaw, including height, lot coverage, and design standards. Furthermore, it aligns with the town's encouragement of ADU development (Section 5.9.2 A). Our neighbors have expressed support for the project, and we have taken steps to ensure that the ADU's design is in harmony with the surrounding properties.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

The main purpose of the setback requirements is to ensure adequate spacing between structures for safety and aesthetics. The proposed "ADU" structure will maintain a reasonable distance from adjacent properties and will not compromise safety or the aesthetic character of the neighborhood. Additionally, it supports the town's policy to promote accessory dwelling units as a means to address housing needs while respecting the existing neighborhood context.

In more detail:

- We will still have 3.5'+ setbacks on all sides which is more than some other ADUs in Arlington (which have either been granted Variance Permits or Special Use Permits).
- Many of our neighbors have out-buildings within 3' of our property lines.
- This structure would still be more than 100' away from any other dwellings due to the lot sizes of the neighboring properties.
- Most neighbors wouldn't be able to see it at all due to the trees and privacy property fence already in place.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

The primary use will be as an extended office space for the current occupants of the existing home. Secondary use will be as a living space for one of our parents, should they fall ill or unable to care for themselves. Neither of these use cases will substantially impact the number of occupants of the property as a whole, or change the character of how we use our property in any way.

Dimensional and Parking Information

Present Use/Occupancy *

SF Residential

Proposed Use/Occupancy *

Residential

Existing Number of Dwelling Units*

1

Proposed Number of Dwelling Units*

2

Existing Gross Floor Area (Sq. Ft.)*

2250

Proposed Gross Floor Area (Sq. Ft.)*

2450

Existing Lot Size (Sq. Ft.)*

7744

Proposed Lot Size (Sq. Ft.)* 

7744

Minimum Lot Size required by Zoning*

6000

Existing Frontage (ft.)*

80

Proposed Frontage (ft.)*

80

Minimum Frontage required by Zoning*

60

Existing Floor Area Ratio*

0.29

Proposed Floor Area Ratio*

0.31

Max. Floor Area Ratio required by Zoning*

0.35

Existing Lot Coverage (%)*

0.145

Proposed Lot Coverage (%)*

0.158

Max. Lot Coverage required by Zoning*

0.35

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

7740

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

3872

Minimum Lot Area per Dwelling Unit required by Zoning*

0

Existing Front Yard Depth (ft.)*

30

Proposed Front Yard Depth (ft.)*

30

Minimum Front Yard Depth required by Zoning*

0

Existing Left Side Yard Depth (ft.)*

0

Proposed Left Side Yard Depth (ft.)*

3.5

Minimum Left Side Yard Depth required by Zoning*

6

Existing Right Side Yard Depth (ft.)*

0

Proposed Right Side Yard Depth (ft.)*

3.5

Minimum Right Side Yard Depth required by Zoning*

6

Existing Rear Yard Depth (ft.)*

0

Proposed Rear Yard Depth (ft.)*

3.5

Minimum Rear Yard Depth required by Zoning*

6

Existing Height (stories)

0

Proposed Height (stories)*

1

Maximum Height (stories) required by Zoning*

2.5

Existing Height (ft.)*

0

Proposed Height (ft.)*

10

Maximum Height (ft.) required by Zoning*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

5780

Proposed Landscaped Open Space (Sq. Ft.)*

5580

Existing Landscaped Open Space (% of GFA)*

74

Proposed Landscaped Open Space (% of GFA)*

72

Minimum Landscaped Open Space (% of GFA)
required by Zoning*

0

Existing Usable Open Space (Sq. Ft.)*

4875

Proposed Usable Open Space (Sq. Ft.)*

4409

Existing Usable Open Space (% of GFA)*

63

Proposed Usable Open Space (% of GFA)*

57

Minimum Usable Open Space required by Zoning*

0

Existing Number of Parking Spaces*

4

Proposed Number of Parking Spaces*

4

Minimum Number of Parking Spaces required by
Zoning*

0

Existing Parking area setbacks

0

Proposed Parking area setbacks *

0

Minimum Parking Area Setbacks required by
Zoning*

0

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

0

Proposed Slope of proposed roof(s) (in. per ft.)*

0.2

Minimum Slope of Proposed Roof(s) required by Zoning*

0

Existing type of construction*

0

Proposed type of construction*

V

Open Space Information

Existing Total Lot Area*

7740

Proposed Total Lot Area*

7740

Existing Open Space, Usable*

4875

Proposed Open Space, Usable*

4409

Existing Open Space, Landscaped*

5780

Proposed Open Space, Landscaped*

5580

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

200

Basement or Cellar, Existing Gross Floor Area ?

1125

Basement or Cellar, Proposed Gross Floor Area

1125

1st Floor, Existing Gross Floor Area

1125

New Field

—

1st Floor, Proposed Gross Floor Area

1125

2nd Floor, Existing Gross Floor Area

—

2nd Floor, Proposed Gross Floor Area

—

3rd Floor, Existing Gross Floor Area

—

3rd Floor, Proposed Gross Floor Area

—

4th Floor, Existing Gross Floor Area

—

4th Floor, Proposed Gross Floor Area

—

5th Floor, Existing Gross Floor Area

—

5th Floor, Proposed Gross Floor Area

—

Attic, Existing Gross Floor Area ?

—

Attic, Proposed Gross Floor Area

—

Parking Garages, Existing Gross Floor Area ?

—

Parking Garages, Proposed Gross Floor Area

—

All weather habitable porches and balconies,
Existing Gross Floor Area

—

All weather habitable porches and balconies,
Proposed Gross Floor Area

—

Total Existing Gross Floor Area

2250



Total Proposed Gross Floor Area

2450

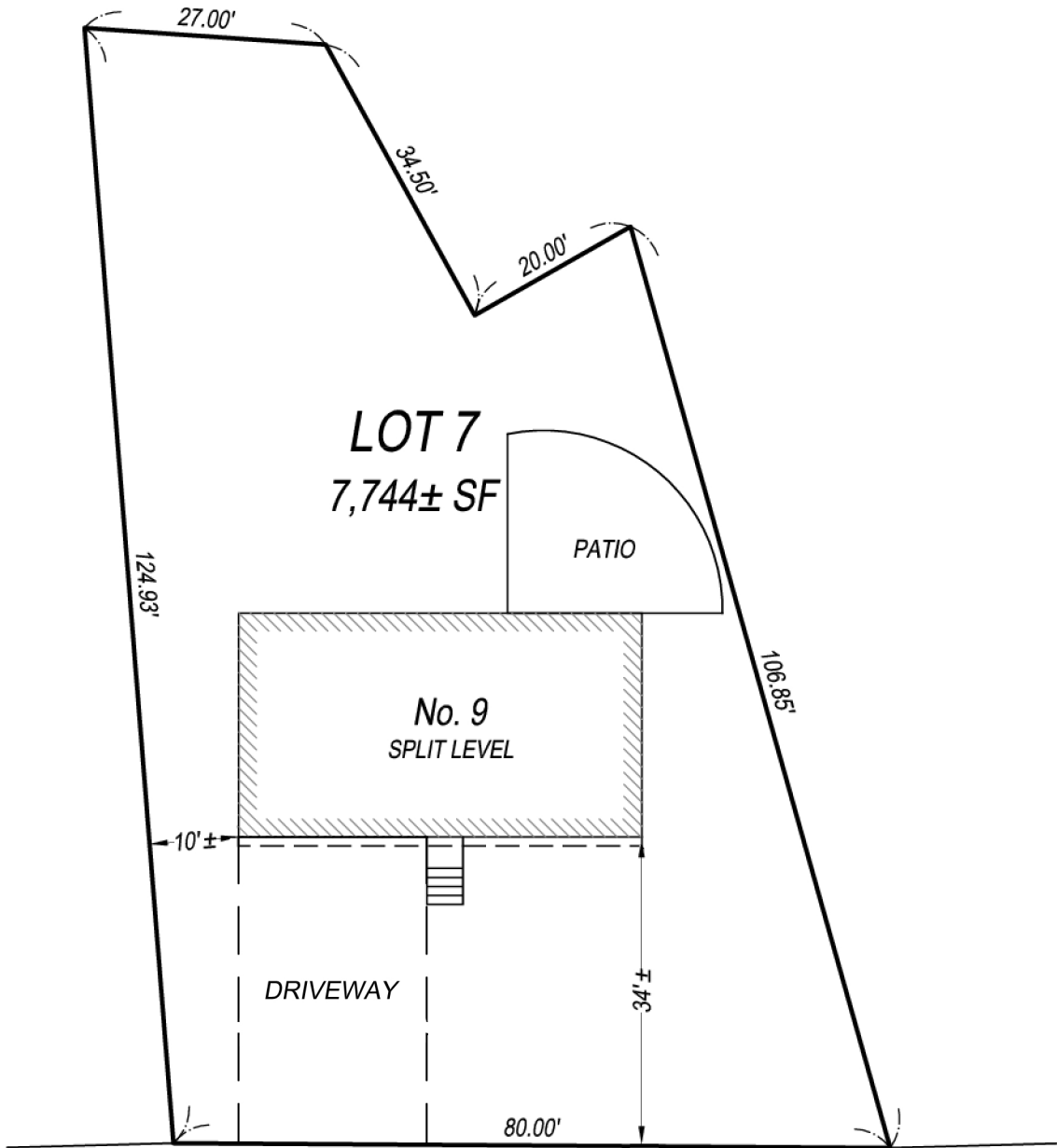
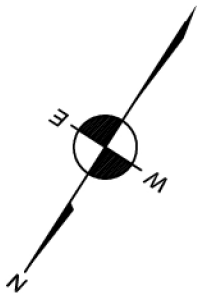


MORTGAGE INSPECTION PLAN

LOCATION:9 MORTON ROAD
CITY, STATE:ARLINGTON, MA
APPLICANT: GREGORIO
CERTIFIED TO: RESIDENTIAL MORTGAGE
DATE: 03-16-2021



21-03486
BOSTON
SURVEY, INC.
P.O. BOX 290220
CHARLESTOWN, MA 02129
T (617) 242-1313; F (617) 242-1616
WWW.BOSTONSURVEYINC.COM



MORTON ROAD

SCALE: 1" = 20'

FLOOD DETERMINATION

According to Federal Emergency Management Agency maps, the major improvements on this property fall in as area designated as
ZONE: X
COMMUNITY PANEL No. 25017C0416E
EFFECTIVE DATE: 6/4/2010

REFERENCES

DEED REF: 57807/594
PLAN REF: 6099/END

NOTE: To show an accurate scale this plan must be printed on legal sized paper (8.5" x 14")

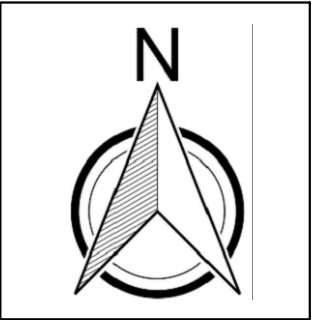
The permanent structures are approximately located on the ground as shown. They either conformed to the setback requirements of the local zoning ordinances in effect at the time of construction, or are exempt from violation enforcement action under M.G.L. Title VII, Chapter 40A, Section 7, and that are no encroachments of major improvements across property lines except as shown and noted hereon.

This is not a boundary or title insurance survey. This plan should not be used for construction, recording purposes or verification of property lines.

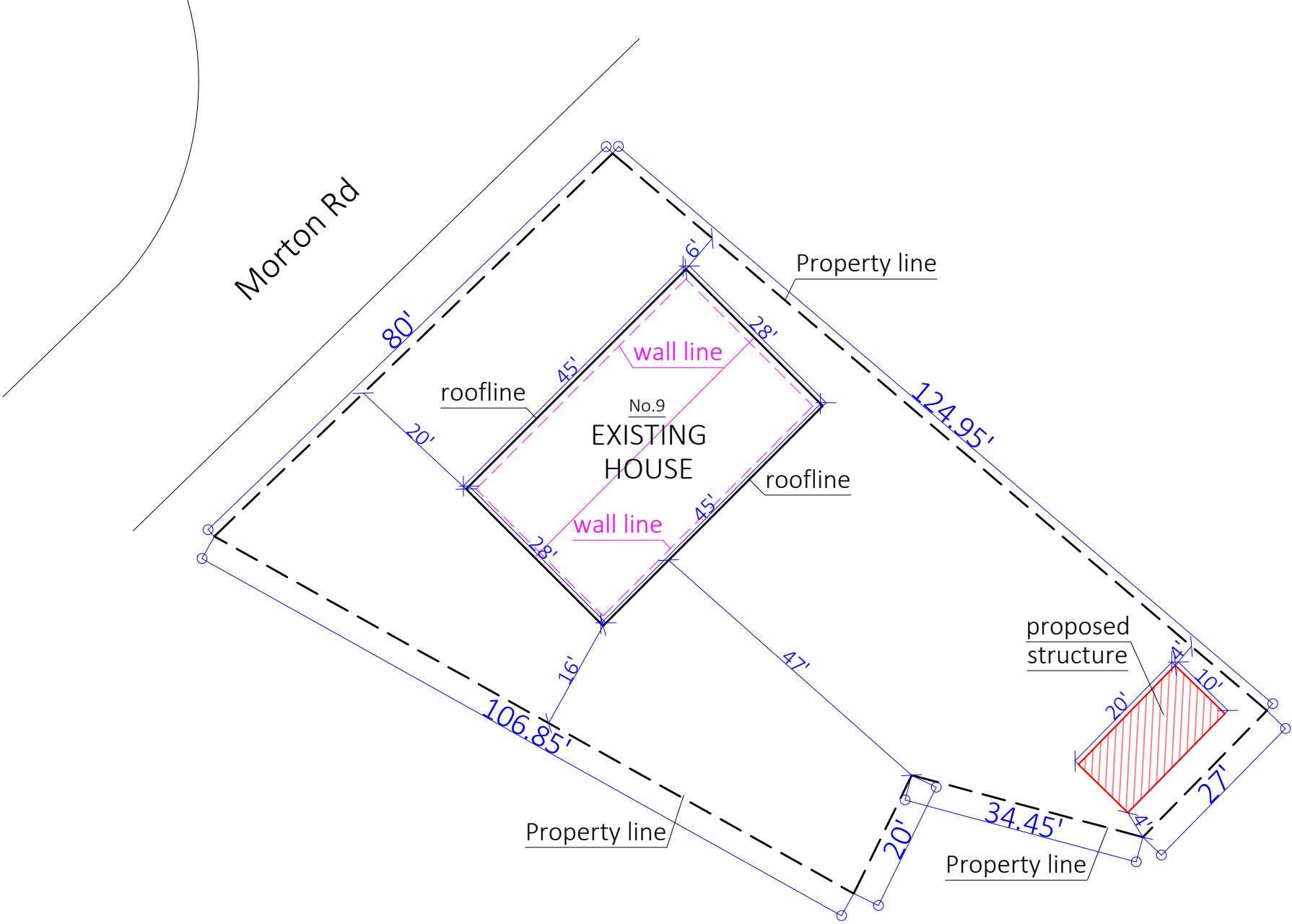


George C. Collins, PLS
22 of 102

S I T E P L A N
9 Morton Rd
Arlington, MA 02476
Parcel ID: ARLI M:135.0 B:0001 L:0006
Lot area: 0.18 Acres
Paper Size: 11"x17"



scale 1"=20'





Current Size: 10x20x8



View Shed In AR

From: Kate and Anthony Gregorio, 9 Morton Rd. Arlington MA 02476

To: Zoning Board of Appeals, Arlington MA

On: ZBA Meeting, Tuesday March 12, 2024

Regarding: Continuance Request

Dear Chairman and Board Members,

We are writing to request a continuance to our ZBA Special Use/Variance Permit Application. We do not yet have plans ready to share with the board.

If possible, we'd like to defer until May, as we anticipate a delay and slowdown in the coming months.

Thank you for your time,

Anthony and Kate Gregorio
9 Morton Rd



Town of Arlington, Massachusetts

Docket #3781 165 Franklin Street (continuance)

ATTACHMENTS:

Type	File Name	Description
Reference Material	#3781_165_Franklin_Street_Legal_ad.pdf	#3781 165 Franklin Street Legal ad
Reference Material	#3781_165_Franklin_Street_Special_Permit.pdf	#3781 165 Franklin Street Special Permit
Reference Material	23057_-_165_Franklin_St.Arlington_MA_INITIAL_SET.pdf	165 Franklin St. Initial Drawings
Reference Material	165_Franklin_St._Second_Decision_AHC.pdf	165 Franklin St. Second Decision AHC 02052024
Reference Material	ARL.182_Inventory_165-167_Franklin_St.__1850.pdf	ARL.182 Inventory 165-167 Franklin St 1850 AHC 020524
Reference Material	23057_-_165_Franklin_St.Arlington__MA_AHC_09JAN24_(1).pdf	23057 - 165 Franklin St.Arlington, MA AHC 09JAN24
Reference Material	23057_-_165_Franklin_St.Arlington__MA_-_9JAN24_(11X17).pdf	23057 - 165 Franklin St.Arlington, MA - 9JAN24 (11X17)
Reference Material	23057_-_165_Franklin_St.Arlington__MA_9JAN24.pdf	23057 - 165 Franklin St.Arlington, MA 9JAN24
Reference Material	B_Mangrum_letter_165_Franklin.pdf	B Mangrum letter 165 Franklin
Reference Material	23057__165_Franklin_St_Arlington__MA__7MAR24_ZBA11X17.pdf	165 Franklin St Arlington MA 7MAR24
Reference Material	#3781_165_Franklin_St._Arlington_MA_GFA_3-12-2024.pdf	#3781 165 Franklin St. Arlington MA GFA 3-12-2024
Reference Material	#3781_65_Franklin_St_Arlington_MA_Z0_3-12-2024.pdf	#3781 65 Franklin St Arlington MA Z0 3-12-2024



Town of Arlington
Zoning Board of Appeals
23 Maple Street
Arlington, Massachusetts 02476
781-316-3396
www.arlingtonma.gov

LEGAL NOTICE

Notice is herewith given in accordance with the provisions of Section 3.2.2 of the Zoning Bylaws that there has been filed, by **165 Franklin Street, LLC** of Arlington, MA. on December 7, 2023, a petition seeking to alter their property located at **165 Franklin Street - Block Plan 044.0-0001-0013.0**. Said petition would require a **Special Permit** under **Section 5.4.2(B)(6)** of the Zoning Bylaw for the Town of Arlington.

A hearing in regards to the petition will be conducted remotely via "Zoom" **Tuesday evening at 7:30 P.M on February 13, 2024, as soon thereafter as the petitioner may be heard. To join the meeting, please register using the following URL:** <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/zba-calendar> and choose the date of the meeting you wish to attend.

For documentation relating to this petition, visit the ZBA website 48 hours prior to the hearing at <https://www.arlingtonma.gov/town-governance/boards-and-committees/zoning-board-of-appeals/agendas-minutes>

DOCKET NO 3781

Zoning Board of Appeals
Christian Klein, RA, Chair

Please direct any questions to: **ZBA@town.arlington.ma.us**



SP-23-8

Special Use Permit Application (ZBA)

Status: Active

Submitted On: 12/7/2023

Primary Location


165 FRANKLIN ST
Arlington, MA 02474

Owner


Kristen Germano
FRANKLIN ST 165
ARLINGTON, MA 02474

Applicant

 Gregory Zalanskas

 +1 978-835-5194

greg.zalanskas@comcast.net

 34 Birch Rd
MA Andover, Ma 01810

Special Permit Criteria

Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.*

5,4,2,B,6 large additions

Explain why the requested use is essential or desirable to the public convenience or welfare.*

Larger Dwellings units and generous lot will be desirable to families, and long term ownership.

Explain why the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

the intensity of use ,or occupancy does not change from the existing two family residence.

Explain why the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

there is no increase in the number of households and therefore will not result in an increased burden on systems and services.

Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.*

the increase in area will conform to the required setbacks, allowed height, and lot coverage.

Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.*

the proposed & renovated structure will be in keeping with adjacent structures, and shall not be detrimental to the health or welfare of the neighborhood.

Explain why the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

the use remains a 2 family residence, the massing of 2 attached homes, and character of the structure will be similar to that of detached single family structures in the vicinity.

Dimensional and Parking Information

Present Use/Occupancy *

two family

Proposed Use/Occupancy *

two family

Existing Number of Dwelling Units*

2

Proposed Number of Dwelling Units*

2

Existing Gross Floor Area (Sq. Ft.)*

4102

Proposed Gross Floor Area (Sq. Ft.)*

7563

Existing Lot Size (Sq. Ft.)*

11088

Proposed Lot Size (Sq. Ft.)* ?

11088

Minimum Lot Size required by Zoning*

6000

Existing Frontage (ft.)*

56

Proposed Frontage (ft.)*

56

Minimum Frontage required by Zoning*

60

Existing Floor Area Ratio*

0.37

Proposed Floor Area Ratio*

0.68

Max. Floor Area Ratio required by Zoning*

-1

Existing Lot Coverage (%)*

15

Proposed Lot Coverage (%)*

28.5

Max. Lot Coverage required by Zoning*

35

Existing Lot Area per Dwelling Unit (Sq. Ft.)*

5544

Proposed Lot Area per Dwelling Unit (Sq. Ft.)*

5544

Minimum Lot Area per Dwelling Unit required by
Zoning*

3000

Existing Front Yard Depth (ft.)*

37

Proposed Front Yard Depth (ft.)*

37

Minimum Front Yard Depth required by Zoning*

20

Existing Left Side Yard Depth (ft.)*

8.8

Proposed Left Side Yard Depth (ft.)*

9

Minimum Left Side Yard Depth required by Zoning*

10

Existing Right Side Yard Depth (ft.)*

11.8

Proposed Right Side Yard Depth (ft.)*

11.2

Minimum Right Side Yard Depth required by Zoning*

10

Existing Rear Yard Depth (ft.)*

94.5

Proposed Rear Yard Depth (ft.)*

32.2

Minimum Rear Yard Depth required by Zoning*

11

Existing Height (stories)

2.5

Proposed Height (stories)*

2.5

Maximum Height (stories) required by Zoning*

2.5

Existing Height (ft.)*

32.25

Proposed Height (ft.)*

32.88

Maximum Height (ft.) required by Zoning*

35

For additional information on the Open Space requirements, please refer to Section 2 of the Zoning Bylaw.

Existing Landscaped Open Space (Sq. Ft.)*

5948

Proposed Landscaped Open Space (Sq. Ft.)*

6125

Existing Landscaped Open Space (% of GFA)*

250

Proposed Landscaped Open Space (% of GFA)*

81

Minimum Landscaped Open Space (% of GFA)
required by Zoning*

10

Existing Usable Open Space (Sq. Ft.)*

5948

Proposed Usable Open Space (Sq. Ft.)*

3468

Existing Usable Open Space (% of GFA)*

201

Proposed Usable Open Space (% of GFA)*

46

Minimum Usable Open Space required by Zoning*

30

Existing Number of Parking Spaces*

4

Proposed Number of Parking Spaces*

4

Minimum Number of Parking Spaces required by
Zoning*

2

Existing Parking area setbacks

—

Proposed Parking area setbacks *

64

Minimum Parking Area Setbacks required by
Zoning*

20

Existing Number of Loading Spaces

0

Proposed Number of Loading Spaces*

0

Minimum Number of Loading Spaces required by
Zoning*

0

Existing Slope of proposed roof(s) (in. per ft.)*

8

Proposed Slope of proposed roof(s) (in. per ft.)*

8

Minimum Slope of Proposed Roof(s) required by Zoning*

2

Existing type of construction*

wood

Proposed type of construction*

wood frame

Open Space Information

Existing Total Lot Area*

11088

Proposed Total Lot Area*

11088

Existing Open Space, Usable*

5948

Proposed Open Space, Usable*

3468

Existing Open Space, Landscaped*

250

Proposed Open Space, Landscaped*

81

Gross Floor Area Information

Accessory Building, Existing Gross Floor Area

0

Accessory Building, Proposed Gross Floor Area

0

Basement or Cellar, Existing Gross Floor Area ?

1159

Basement or Cellar, Proposed Gross Floor Area

1964

1st Floor, Existing Gross Floor Area

1661

New Field

0

1st Floor, Proposed Gross Floor Area

2474

2nd Floor, Existing Gross Floor Area

1183

2nd Floor, Proposed Gross Floor Area

2567

3rd Floor, Existing Gross Floor Area

0

3rd Floor, Proposed Gross Floor Area

0

4th Floor, Existing Gross Floor Area

0

4th Floor, Proposed Gross Floor Area

0

5th Floor, Existing Gross Floor Area

0

5th Floor, Proposed Gross Floor Area

0

Attic, Existing Gross Floor Area ?

99

Attic, Proposed Gross Floor Area

558

Parking Garages, Existing Gross Floor Area ?

0

Parking Garages, Proposed Gross Floor Area

606

All weather habitable porches and balconies,
Existing Gross Floor Area

0

All weather habitable porches and balconies,
Proposed Gross Floor Area

0

Total Existing Gross Floor Area

4102

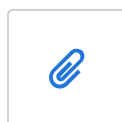


Total Proposed Gross Floor Area

8169



Attachments



23057 - 165 Franklin St.Arlington MA INITIAL SET.pdf

23057 - 165 Franklin St.Arlington MA INITIAL SET.pdf

Uploaded by Gregory Zalanskas on Dec 8, 2023 at 2:35 PM



Supporting Documentation [worksheet and drawings]

plans 165 Franklin St. Arlington MA - 1st set for special permit.pdf

Uploaded by Gregory Zalanskas on Dec 7, 2023 at 3:59 PM

REQUIRED

History

Date	Activity
11/25/2023, 9:43:31 AM	Gregory Zalanskas started a draft of Record SP-23-8
11/25/2023, 9:45:59 AM	Gregory Zalanskas altered Record SP-23-8, changed ownerEmail from "" to "greg.zalanskas@comcast.net"
11/25/2023, 9:45:59 AM	Gregory Zalanskas altered Record SP-23-8, changed ownerName from "CHELARIU CRISTIAN" to "Kristen Germano"
11/25/2023, 9:45:59 AM	Gregory Zalanskas altered Record SP-23-8, changed ownerPhoneNo from "" to "6175290332"
11/25/2023, 9:46:00 AM	Gregory Zalanskas altered Record SP-23-8, changed ownerStreetName from "165 FRANKLIN ST" to " FRANKLIN ST"
11/25/2023, 9:46:00 AM	Gregory Zalanskas altered Record SP-23-8, changed ownerStreetNo from "" to "165"
12/7/2023, 4:01:02 PM	Gregory Zalanskas submitted Record SP-23-8
12/7/2023, 4:01:03 PM	Gregory Zalanskas submitted Record SP-23-8
12/7/2023, 4:01:03 PM	approval step Zoning Administrator Reviewwas assigned to Colleen Ralston on Record SP-23-8
12/8/2023, 2:35:35 PM	Gregory Zalanskas added attachment 23057 - 165 Franklin St.Arlington MA INITIAL SET.pdf to Record SP-23-8
12/11/2023, 11:40:32 AM	Colleen Ralston approved approval step Zoning Administrator Review on Record SP-23-8

Date	Activity
12/11/2023, 11:40:32 AM	approval step Building Inspector Review was assigned to Michael Ciampa on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Existing Gross Floor Area (Sq. Ft.) from "4258" to "4102" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Gross Floor Area (Sq. Ft.) from "6102" to "7563" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Existing Floor Area Ratio from "0.38" to "0.37" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Floor Area Ratio from "0.55" to "0.68" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Max. Floor Area Ratio required by Zoning from "0" to "-1" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Lot Coverage (%) from "28" to "28.5" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Existing Rear Yard Depth (ft.) from "94.63" to "94.5" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Rear Yard Depth (ft.) from "37.2" to "32.2" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Minimum Rear Yard Depth required by Zoning from "12" to "11" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Landscaped Open Space (Sq. Ft.) from "3468" to "6125" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Existing Landscaped Open Space (% of GFA) from "139" to "250" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Landscaped Open Space (% of GFA) from "57" to "81" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Existing Usable Open Space (% of GFA) from "139" to "201" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Usable Open Space (% of GFA) from "57" to "46" on Record SP-23-8
12/13/2023, 10:02:56 AM	Kerri O'Brien changed Proposed Parking area setbacks from "65" to "64" on Record SP-23-8
12/13/2023, 10:04:41 AM	Kerri O'Brien changed Minimum Parking Area Setbacks required by Zoning from "15" to "20" on Record SP-23-8
12/13/2023, 10:04:41 AM	Kerri O'Brien changed Minimum Slope of Proposed Roof(s) required by Zoning from "0" to "2" on Record SP-23-8

Date	Activity
12/13/2023, 10:05:08 AM	Kerri O'Brien changed Existing Open Space, Landscaped from "139" to "250" on Record SP-23-8
12/13/2023, 10:05:08 AM	Kerri O'Brien changed Proposed Open Space, Landscaped from "57" to "81" on Record SP-23-8
12/13/2023, 10:06:21 AM	Kerri O'Brien changed Basement or Cellar, Proposed Gross Floor Area from "1936" to "1964" on Record SP-23-8
12/13/2023, 10:06:21 AM	Kerri O'Brien changed Total Proposed Gross Floor Area from "8644" to "8169" on Record SP-23-8
12/13/2023, 10:06:21 AM	Kerri O'Brien changed Attic, Existing Gross Floor Area from "255" to "99" on Record SP-23-8
12/13/2023, 10:06:21 AM	Kerri O'Brien changed Total Existing Gross Floor Area from "4258" to "4102" on Record SP-23-8
12/13/2023, 10:06:21 AM	Kerri O'Brien changed Attic, Proposed Gross Floor Area from "1061" to "558" on Record SP-23-8

Timeline

Label	Activated	Completed	Assignee	Due Date
✓ Zoning Administrator Review	12/7/2023, 4:01:03 PM	12/11/2023, 11:40:32 AM	Colleen Ralston	-
✓ Building Inspector Review	12/11/2023, 11:40:32 AM	-	Michael Ciampa	-
✓ Create Docket Number	-	-	-	-
✓ Create Legal Notice	-	-	-	-
✓ Legal Notice Stamped by Town Clerk	-	-	-	-
✓ Request abutters list from Assessors	-	-	-	-
✓ Send Legal Notice to Newspaper	-	-	-	-
✓ Send Legal Notice to Abutters	-	-	-	-
✓ Create Docket Folder (Z Drive)	-	-	-	-

Label	Activated	Completed	Assignee	Due Date
✓ Share with Planning	-	-	-	-
✓ Create Item in Novus Agenda (add documents)	-	-	-	-
✓ Add Item to Meeting Agenda	-	-	-	-
✓ Building Inspector letter to Novus Agenda	-	-	-	-
✓ Create Meeting for Town Calendar	-	-	-	-
✓ Add Draft decision to the Meeting Agenda	-	-	-	-
✓ Approved Decisions send to DocuSign	-	-	-	-
✓ Completed Decisions to the Town Clerk for Date Stamp	-	-	-	-
✓ Completed Decisions with Date Stamp add to the Docket Folder	-	-	-	-
✓ Permit Issued 20 days after decision (signed and stamped)*	-	-	-	-
💰 Application Fee	-	-	Gregory Zalanskas	-

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF JULY 21, 2023 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ELEVATIONS SHOWN HEREON ARE RELATIVE TO A ASSUMED DATUM OF 500.0'

BENCHMARK:
MAG NAIL SET IN UTILITY POLE
ELEV. = 502.3' (ASSUMED)

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS
ZONE: X
COMMUNITY PANEL: 25017C0417E
EFFECTIVE DATE: 06-04-2010

PREPARED FOR:
CARMEN & CRISTIAN CHELARIU
165 FRANKLIN ST.
ARLINGTON, MA

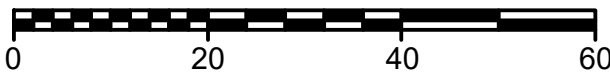
DEED: BK 56731; PG 579
PLAN: BK 1192; PG 181
No. 1324 OF 1929
PL BK 305; PL 19

NOTES:
PARCEL ID:044.0-0001-0013.0
ZONING: R2

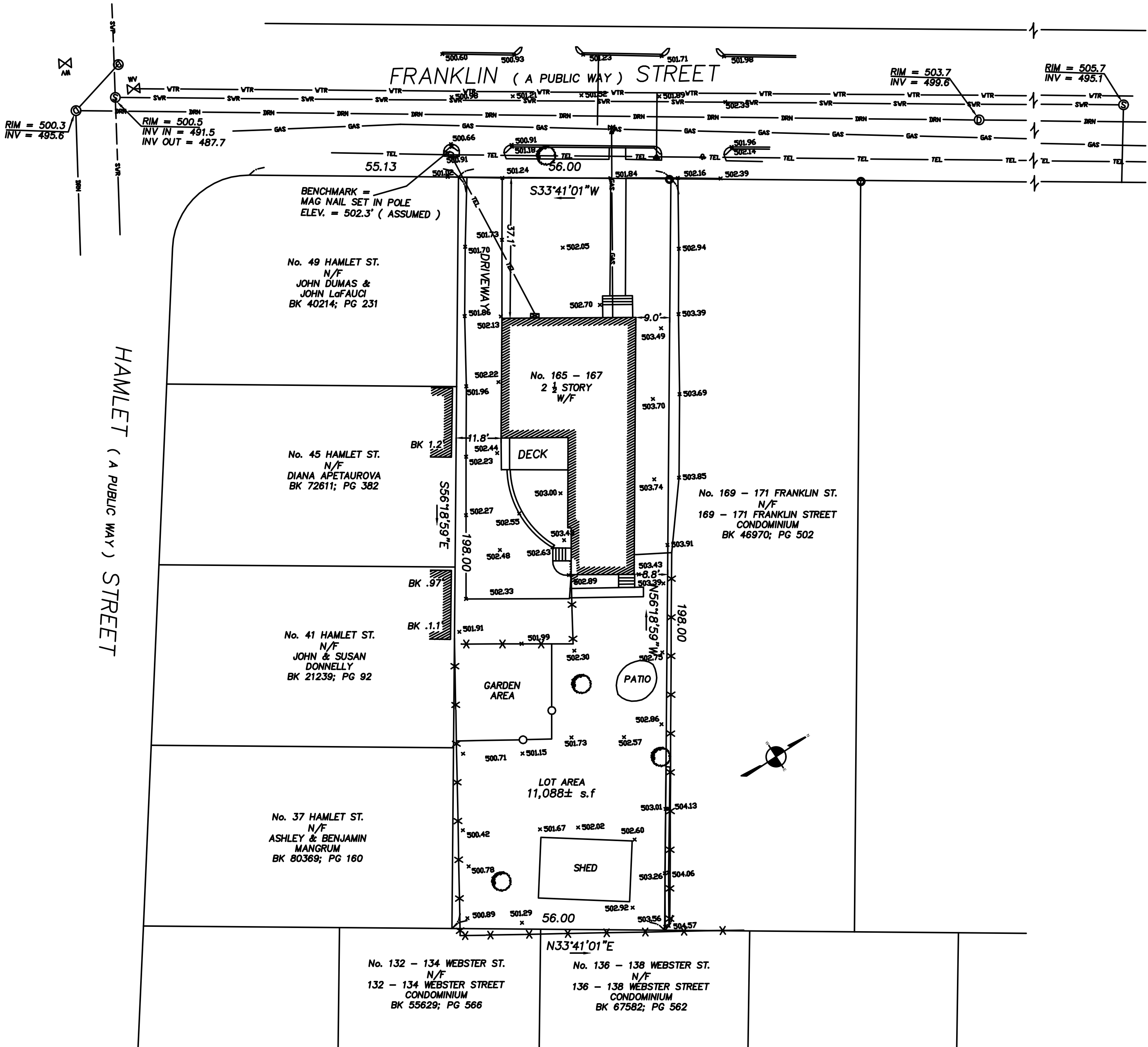
ZONING TABLE:	REQUIRED	EXISTING
DISTRICT:	R2	
LOT AREA:	6,000 s.f	11,088 s.f
LOT FRONTAGE:	60'	56'
FRONT SETBACK:	20'	37.1'
SIDE SETBACK:	10'	8.8'
REAR SETBACK:	20'	93.5'
LOT COVERAGE:	35%	19%
OPEN SPACE:	30%	35.9%
LANDSCAPE:	10%	10%
MAX. HEIGHT:	35'	30.1'
MAX. STORIES:	2.5	2.5

SITE PLAN OF LAND
LOCATED AT
165 - 167 FRANKLIN STREET
ARLINGTON, MA

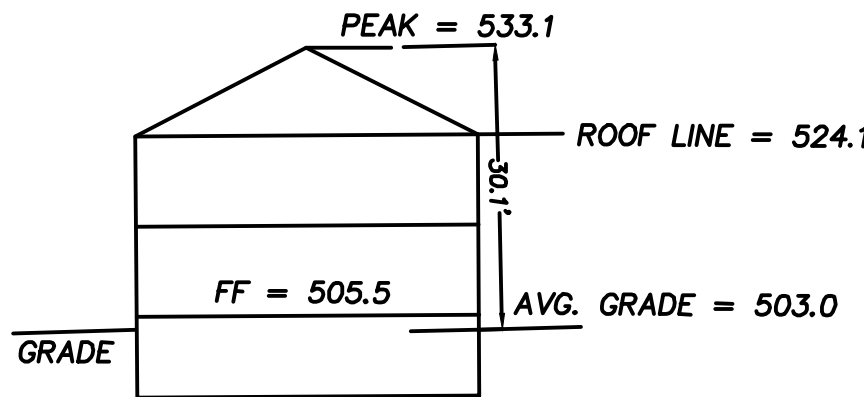
DATE: JULY 23, 2023 SCALE: 1.0 INCH = 20.0 FEET



GEORGE C. COLLINS, P.L.S.
UNIT C-4 SHIPWAY PLACE
CHARLESTOWN, MA 02129
(617) 242-1313



HEIGHT SKETCH:
NOT TO SCALE



FIELD:	JJH
DRAFT:	JJH
CHECK:	GCO
DATE:	07/23/23



A

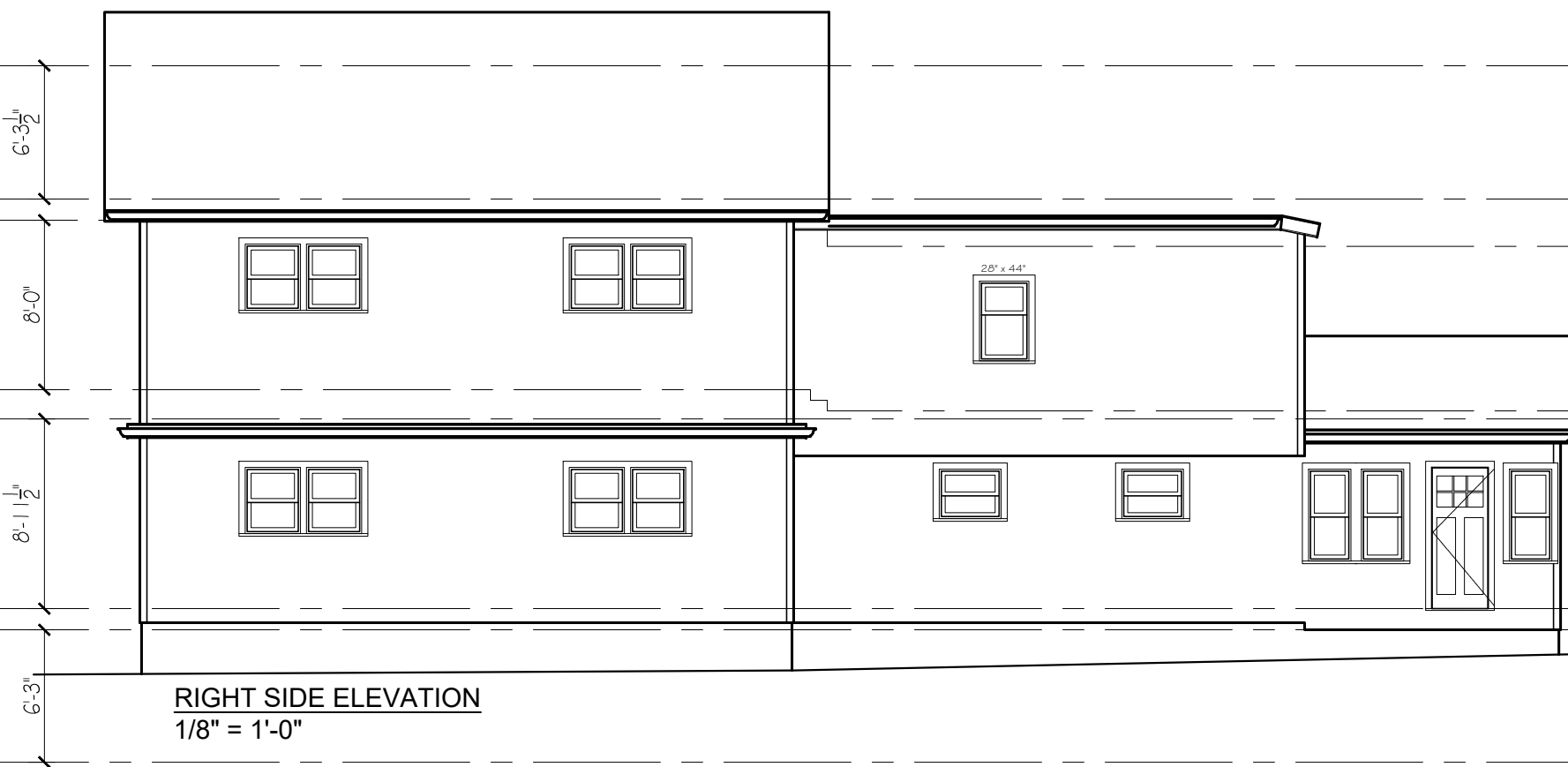
B

C

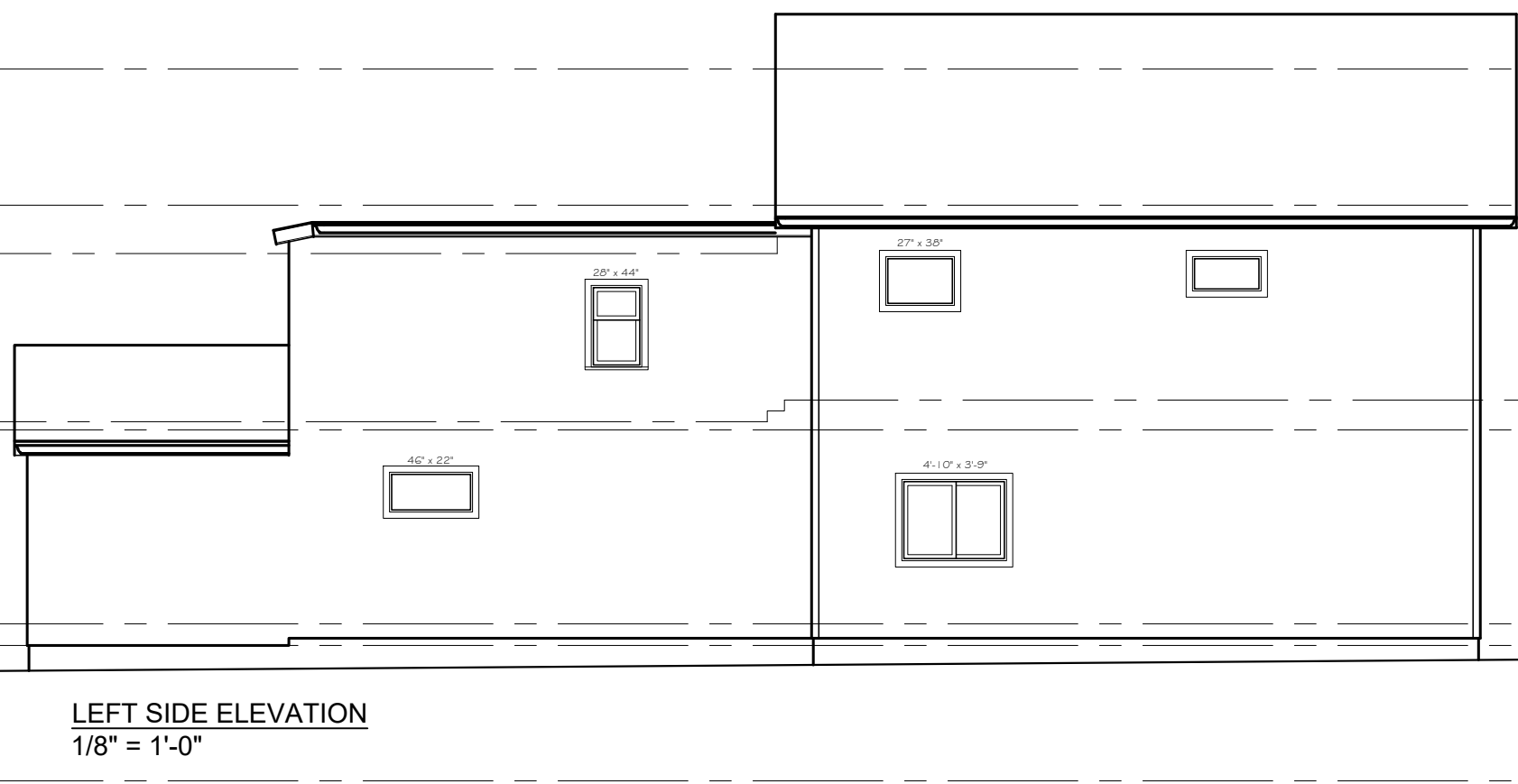
D



FRONT ELEVATION
1/8" = 1'-0"



RIGHT SIDE ELEVATION
1/8" = 1'-0"

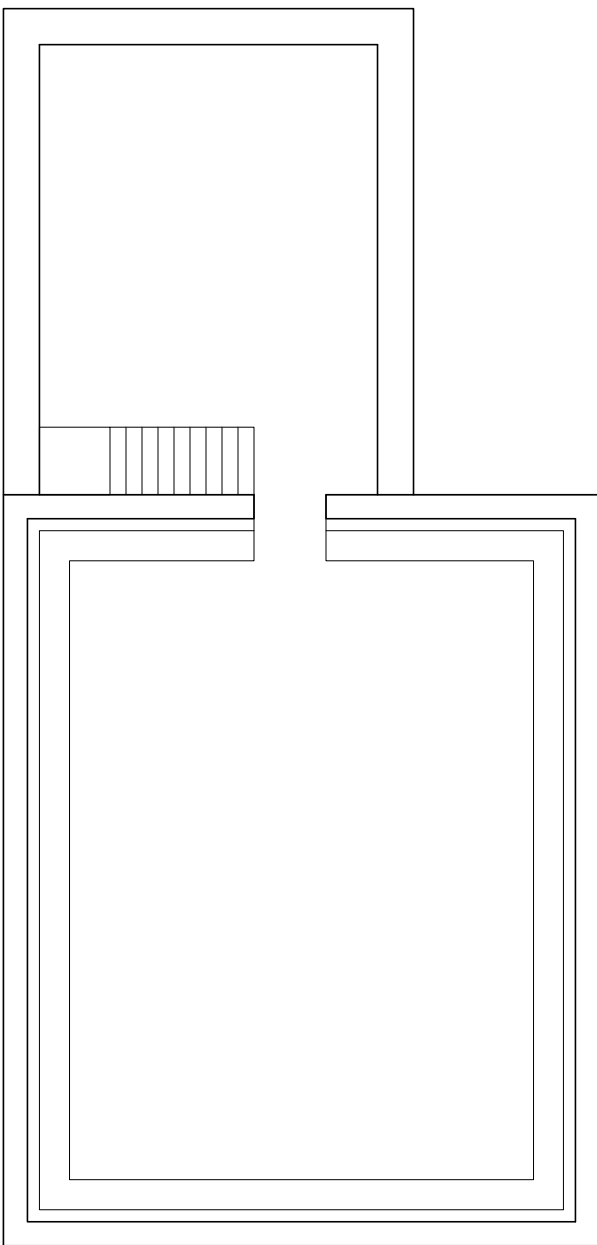


LEFT SIDE ELEVATION
1/8" = 1'-0"

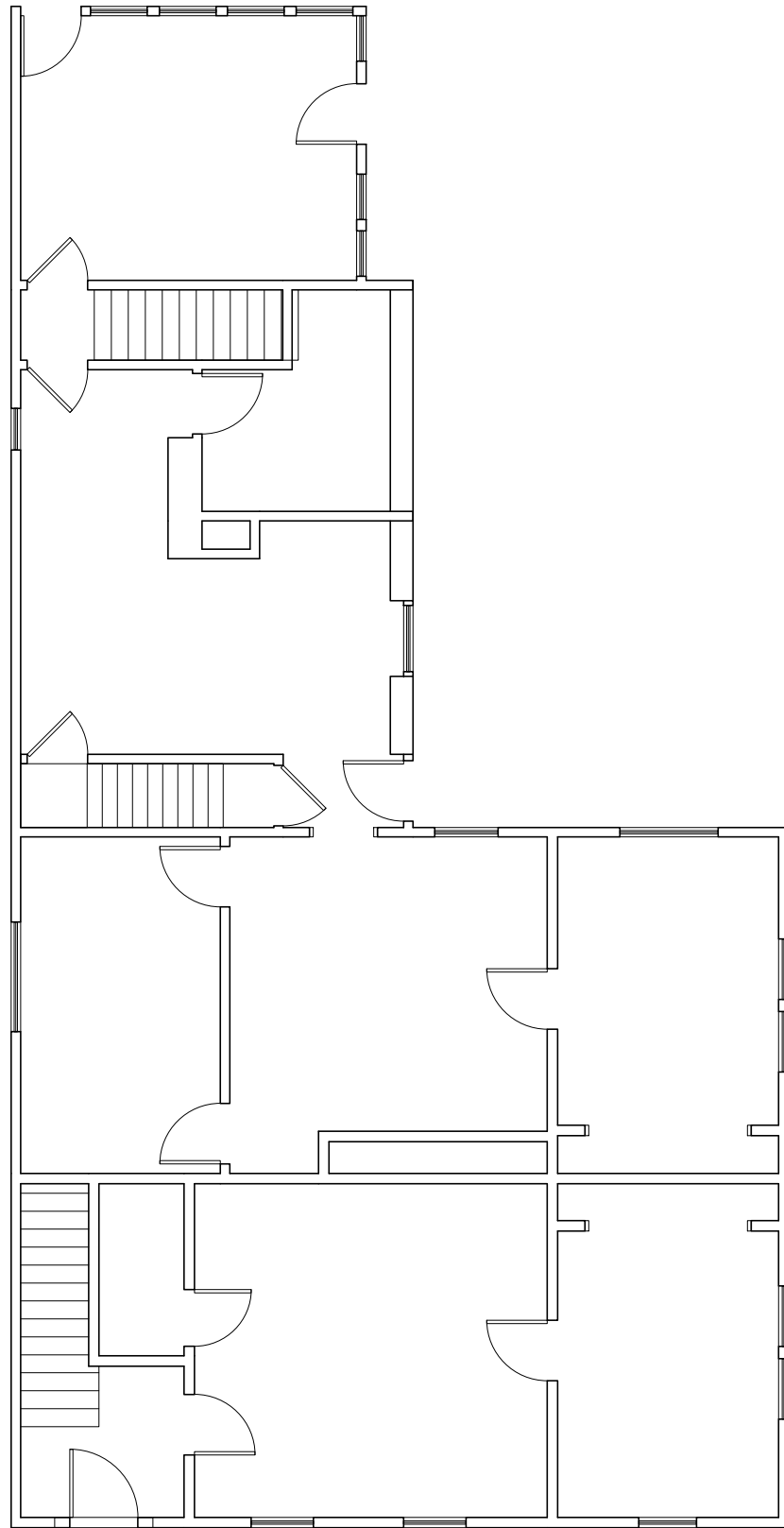


REAR ELEVATION
1/8" = 1'-0"

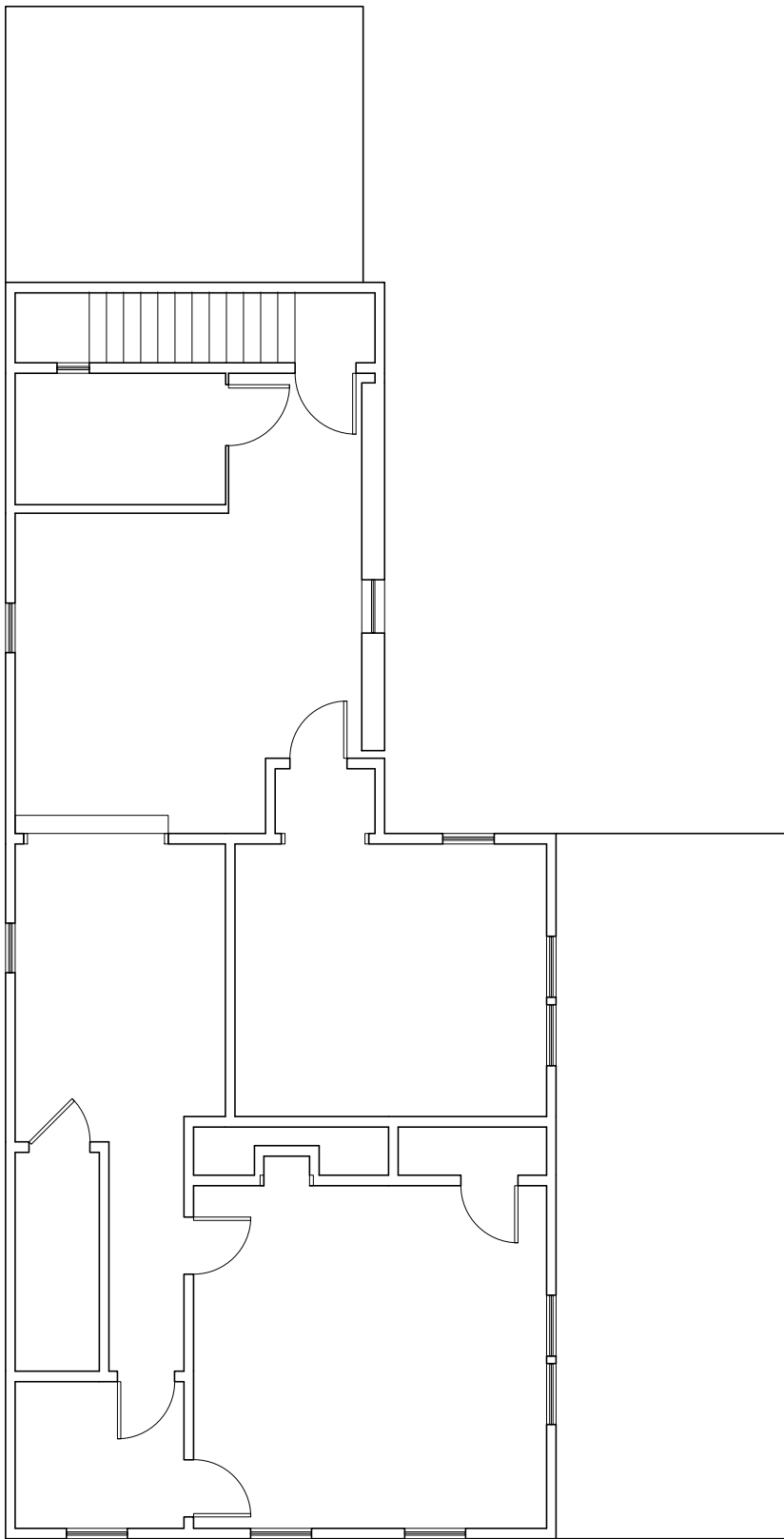
BASEMENT PLAN
1/8" = 1'-0"



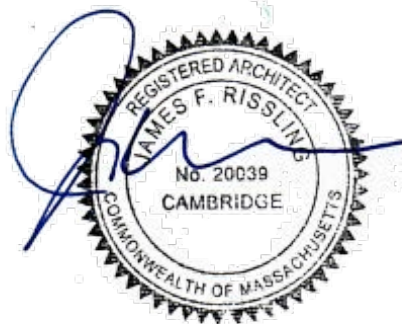
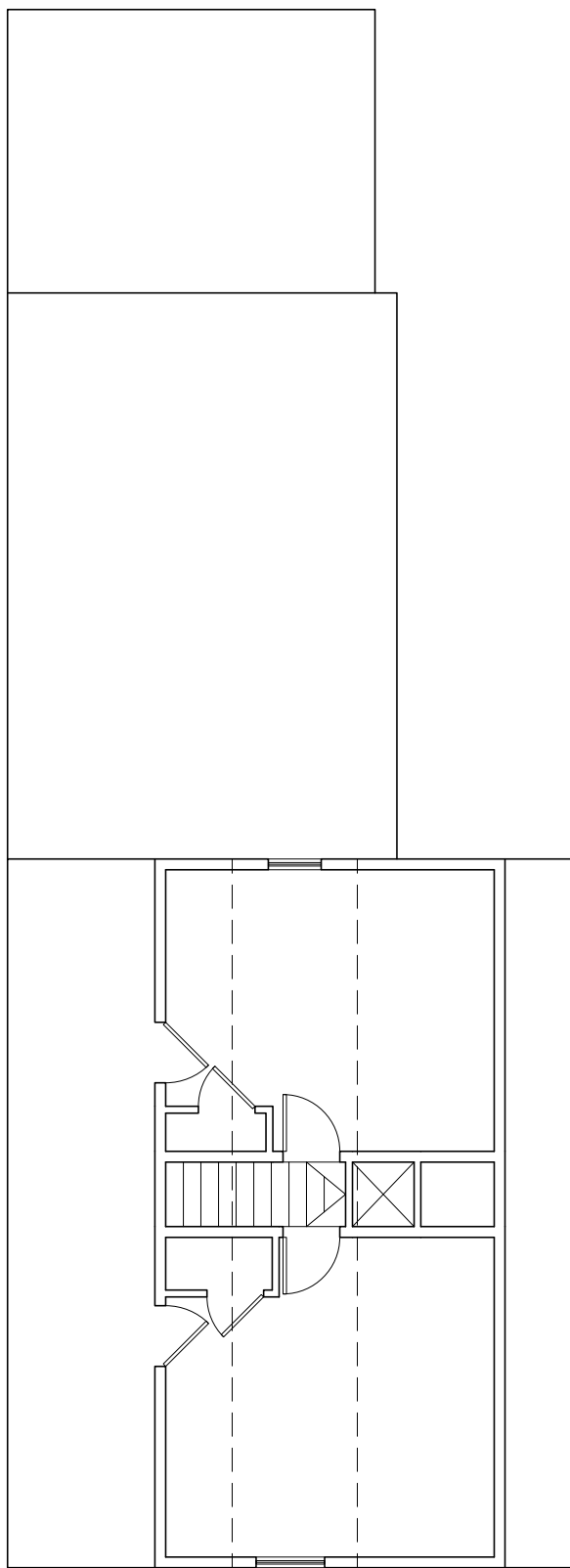
FIRST FLOOR PLAN
1/8" = 1'-0"



SECOND FLOOR PLAN
1/8" = 1'-0"



ATTIC PLAN
1/8" = 1'-0"



A



IMAGE 1
FRONT



IMAGE 2
FRONT



IMAGE 3
FRONT

B



IMAGE 4
FRONT CIRCA 1980 - MHC IMAGE



IMAGE 5
FRONT RIGHT CORNER



IMAGE 6
REAR RIGHTSIDE

C

D

LR Designs

DESIGNS, ARCHITECTS, PLANNERS, DEVELOPMENT ADVISORS

64 ALSTON STREET, SUITE 5

CAMBRIDGE, MA 02139

LEES@LRDN.COM

Project Title:

165 FRANKLIN STREET
ARLINGTON, MA

Drawing Title:

PHOTO MONTAGE

Project #

22028

Drawn By:

EE

Reviewed By:

JFR

Scale:

1/8" = 1'-0"

Date:

8DEC23

Drawing #:

IMAGES

165 FRANKLIN STREET
ARLINGTON, MA

Project Title:

PROPOSED RENOVATIONS:
SITE DIAGRAM & ZONING
INFORMATION

Drawing Title:

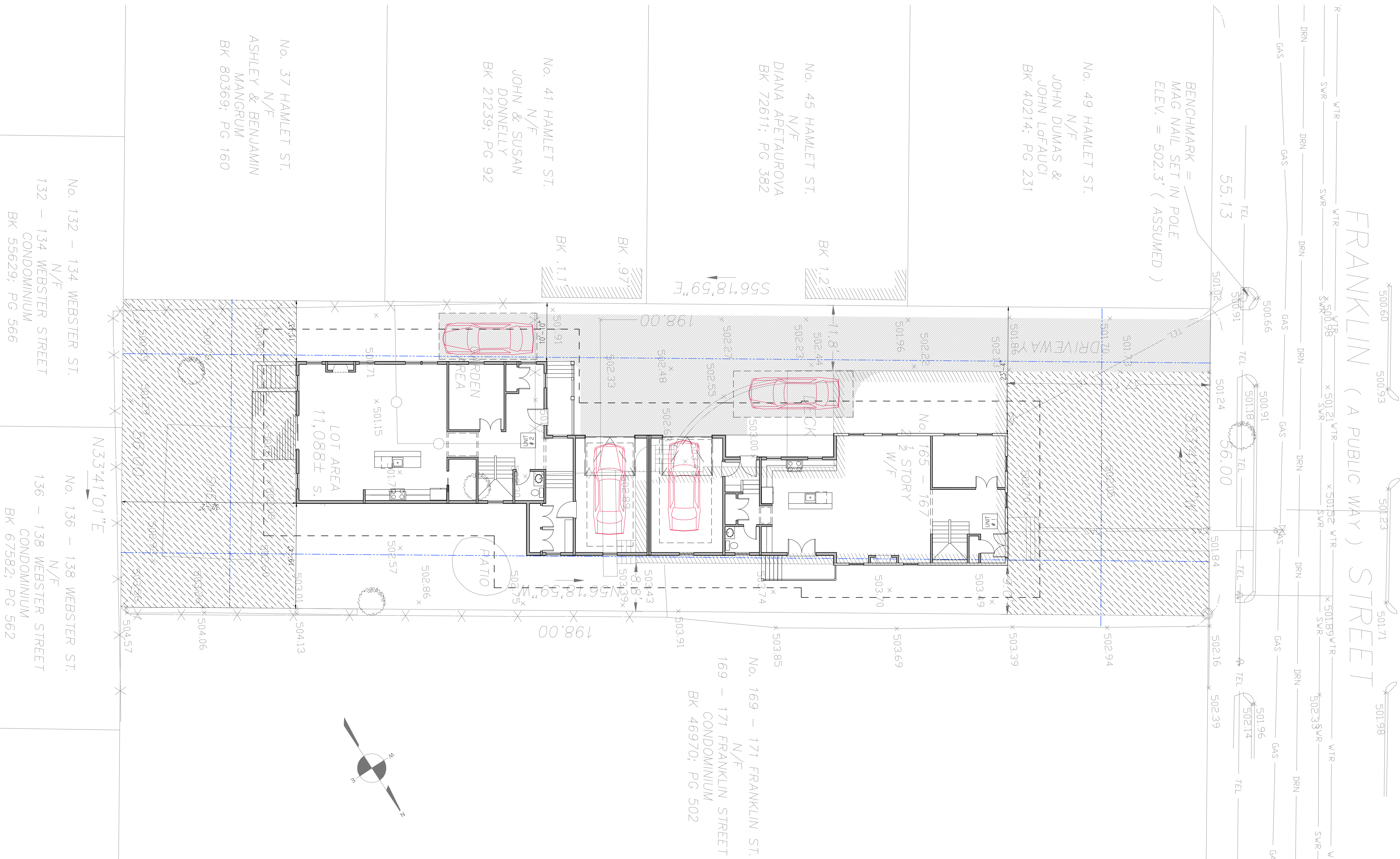
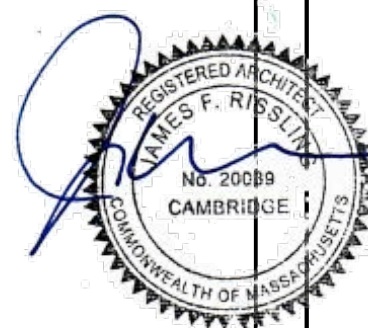
Project #
22028

Drawn By: EE
Reviewed By: JFR

Scale: 1" = 10'
Date: 8DEC23

Drawing #:

Z0.1



BUILDING AREA CALCULATIONS (GROSS SQ. FT.) - ZONING					
	EXIST. AREA (ASSESSORS)	MINUS AREA	ADDED AREA	TOTAL AREA (USING ASSESSORS DATA)	ALLOWED HALF STORY (GREATER THAN F.F.T.) TOTAL ADDITION
BASEMENT (CELLAR)	1,159	391	1,196	1,954	
1ST FLOOR	1,661	886	1,699	2,474	
2ND FLOOR	1,183	408	1,792	2,567	1257.83
ATTIC (SURVEYED)	99	0	459	558	
GARAGE (ACCESSORY PARKING)	0	0	606	606	
TOTAL GROSS FLOOR AREA	4102	1685	5146	7,563	3461.00
TOTAL GROSS AREA	4102	1685	5752	8169	

BUILDING HEIGHT CALCULATION:
SITE SLOPE: >5%
SITE HIGHEST GRADE 503.91'
SITE LOWEST GRADE 500.71'
503.91' - 500.71' = 3.20' / LOT DEPTH 198' = 0.016

0.016% > 1.6% SLOPE
AVERAGE FINISHED GRADE OF SITE @
6' FROM BUILDING (GRADE PLANE): (NOT USED)
503.74' + 500.42' = 1,004.16' / 2 = 502.8'

AVERAGE GRADE = 503.0' (503.0' PER SURVEY)

AVERAGE GRADE @ CURB :
502.14' + 500.91' = 1,003.05' / 2 = 501.525'

ELEVATION OF EXISTING RIDGE = 533.1' (PER SURVEY)

HEIGHT OF EXISTING RIDGE CALCULATED
533.1' - 501.435' = 31.67'

PROPOSED RIDGE
501.435' + 534.33' = 32.895'

32.9' < 35' MAX. ALLOWED

USEABLE OPEN SPACE CALCULATION:
REQUIRED USEABLE, OPEN SPACE
7,563 GSF x 0.30 = 2,268 SF
PROPOSED USEABLE OPEN SPACE: 3,468F
2,268 SF REQUIRED < 3,468 SF PROPOSED

HALF-STORY CALCULATION:
PROPOSED GROSS AREA 2ND FLOOR
2,567 X .49 = 1,257 GSF
TOTAL ALLOWED > 7' = 1,257 GSF
558 GSF PROPOSED < 1,257 GSF ALLOWED

LARGE ADDITION CALCULATION: §5.4.2.B.6
DEMO = 1,685 GSF
PROPOSED = 5,146 GSF
TOTAL ADDITON 3,461 GSF

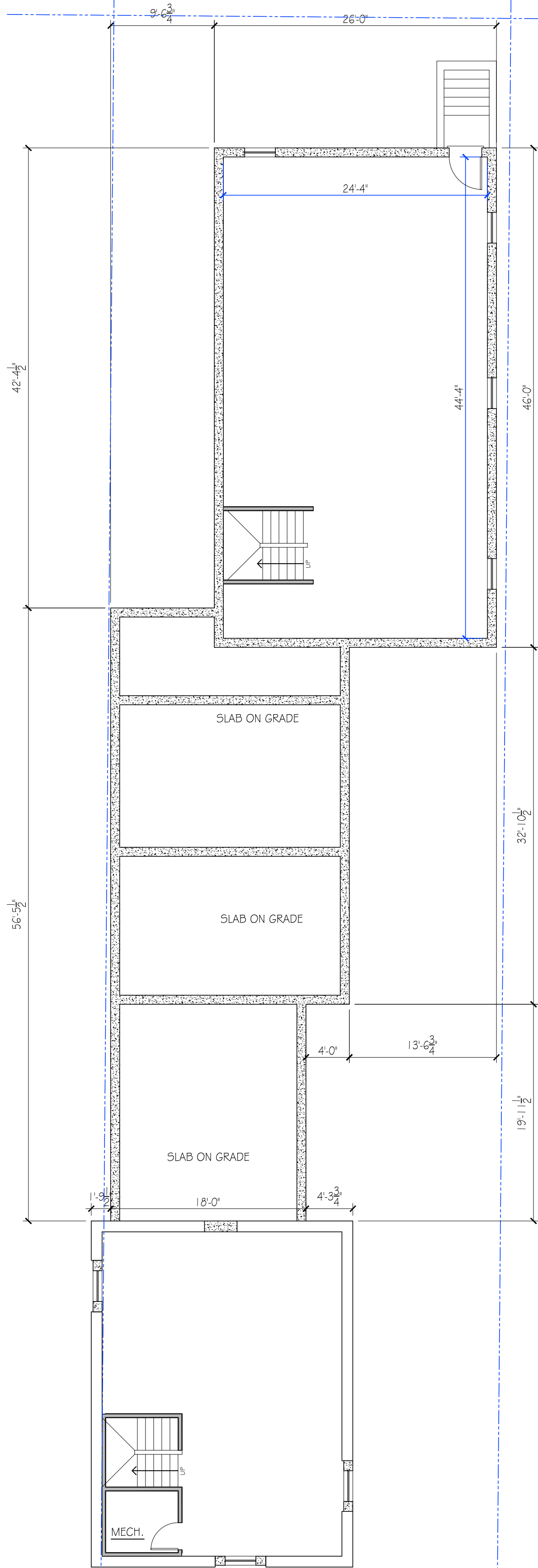
ZONING DATA PER §6.00 - TABLE OF DIMENSIONAL AND DENSITY REGULATIONS: ARLINGTON, MA					
	ZONING DISTRICT - R2	ALLOWED/ REQUIRED	EXISTING	PROPOSED	COMPLIANCE
A	MINIMUM LOT SIZE (S.F.)	6,000	±11,088	NO CHANGE	CONFORMS
B	MIN. FRONTAGE (FT)	60	56	NO CHANGE	EXISTING NON-CONF.
C	FLOOR AREA RATIO MAX. (FAR)	NA	--	--	NA
D	LOT COVERAGE MAX. (%) (PROPOSED 3,161 SF / 11,088 SF = 28.5)	35	19	28.5	CONFORMS
E	MINIMUM LOT AREA PER DWELLING UNIT (S.F.)	NA	--	--	NA
F	MIN. FRONT YARD (FT)	20	37.1	NO CHANGE	EXISTING NON-CONF.
G	MIN. SIDE YARD - RIGHT	10	11.8	11.2	CONFORMS
	MIN. SIDE YARD - LEFT	10	8.8	9	EXISTING NON-CONF. (EXISTING STRUCTURE ONLY)
H	MIN. REAR YARD (FT)	20	94.5	32.2	CONFORMS
I	MAX. HEIGHT (STORIES / FT)	2 1/2 / 35	2 1/2 / 32.25	2 1/2 / 32.88	CONFORMS
J	OPEN SPACE: MIN. LANDSCAPED AREA (%) (PROPOSED 6,125 SF / 7,563 GSF = 80.9)	10	250	81	CONFORMS
K	OPEN SPACE: MIN. USABLE AREA (%) (PROPOSED 3,468 SF / 7,563 GSF = 45.8)	30	201	46	CONFORMS
§6.1. 4	MIN. NO. OF PARKING SPACES	2	4	4	CONFORMS

A

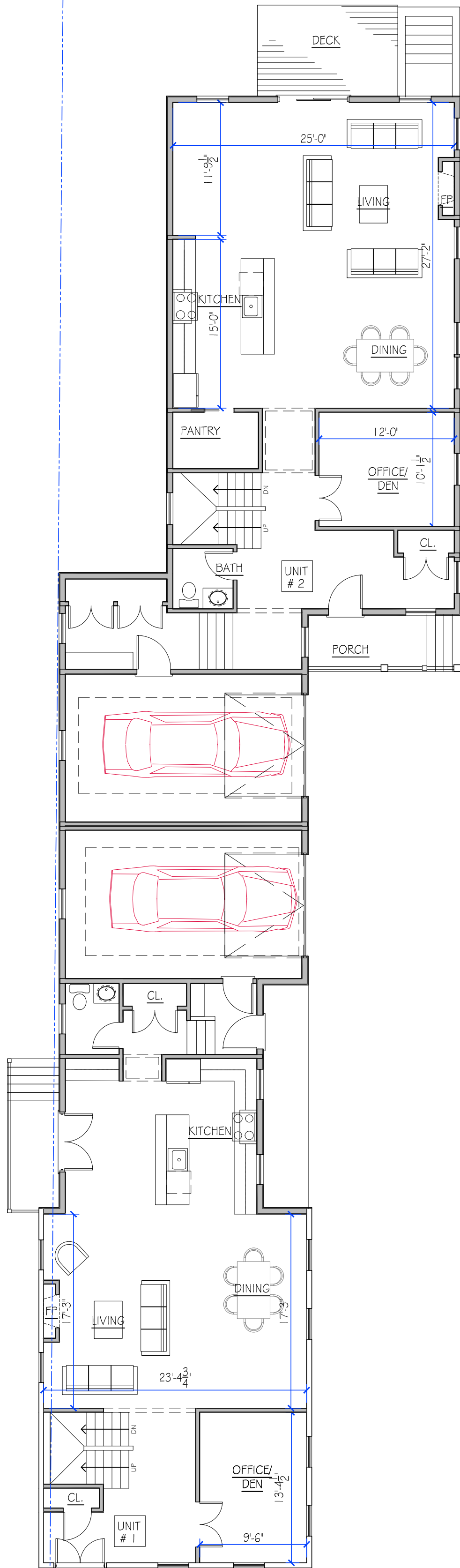
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C

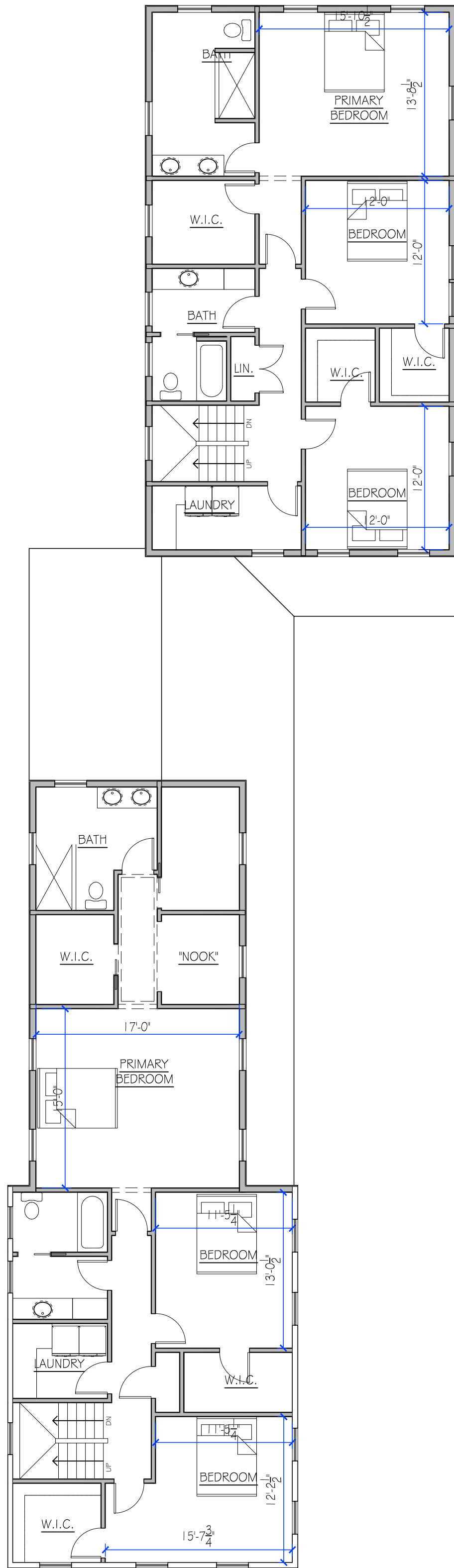
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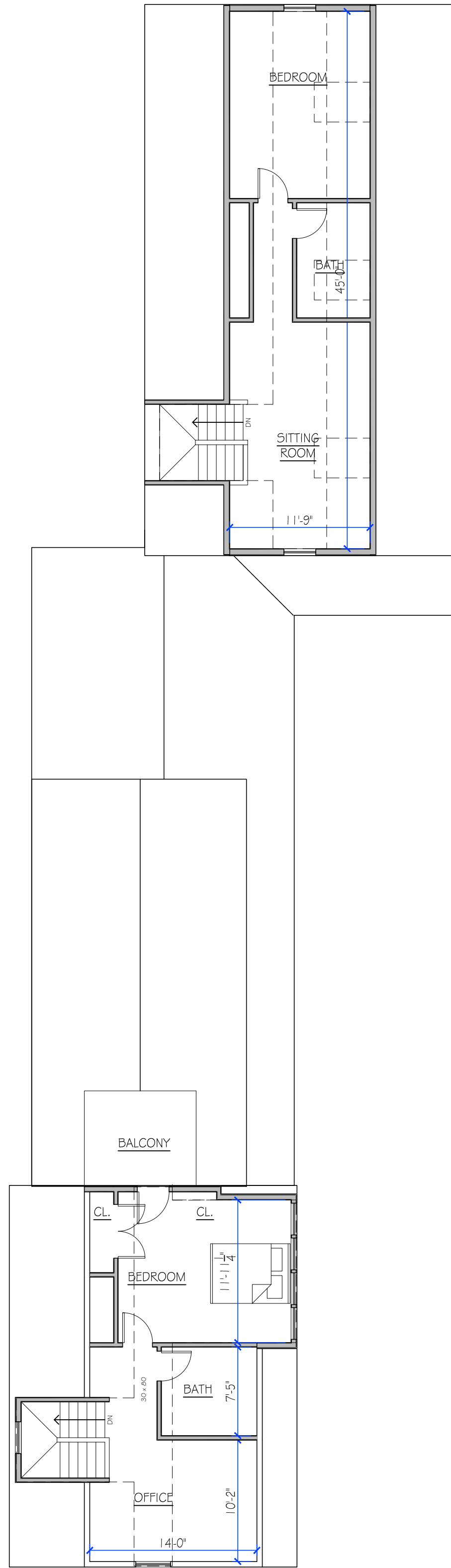
BASEMENT PLAN
1/8" = 1'-0"



FIRST FLOOR PLAN
1/8" = 1'-0"



SECOND FLOOR PLAN
1/8" = 1'-0"



ATTIC PLAN
1/8" = 1'-0"



Drawing Title:

Project #

Drawn By:

Scale:

Drawing #:

Project Title:

PROPOSED RENOVATIONS:
PLANS

165 FRANKLIN STREET
ARLINGTON, MA

LR Designs

DESIGNERS, ARCHITECTS, PLANNERS, DEVELOPMENT ADVISORS

64 ALSTON STREET, SUITE 5
CAMBRIDGE, MA 02139
LDESIGNINC.COM

SD1.1

A



EXISTING FRONT ELEVATION
1/8" = 1'-0"



PROPOSED FRONT ELEVATION
1/8" = 1'-0"

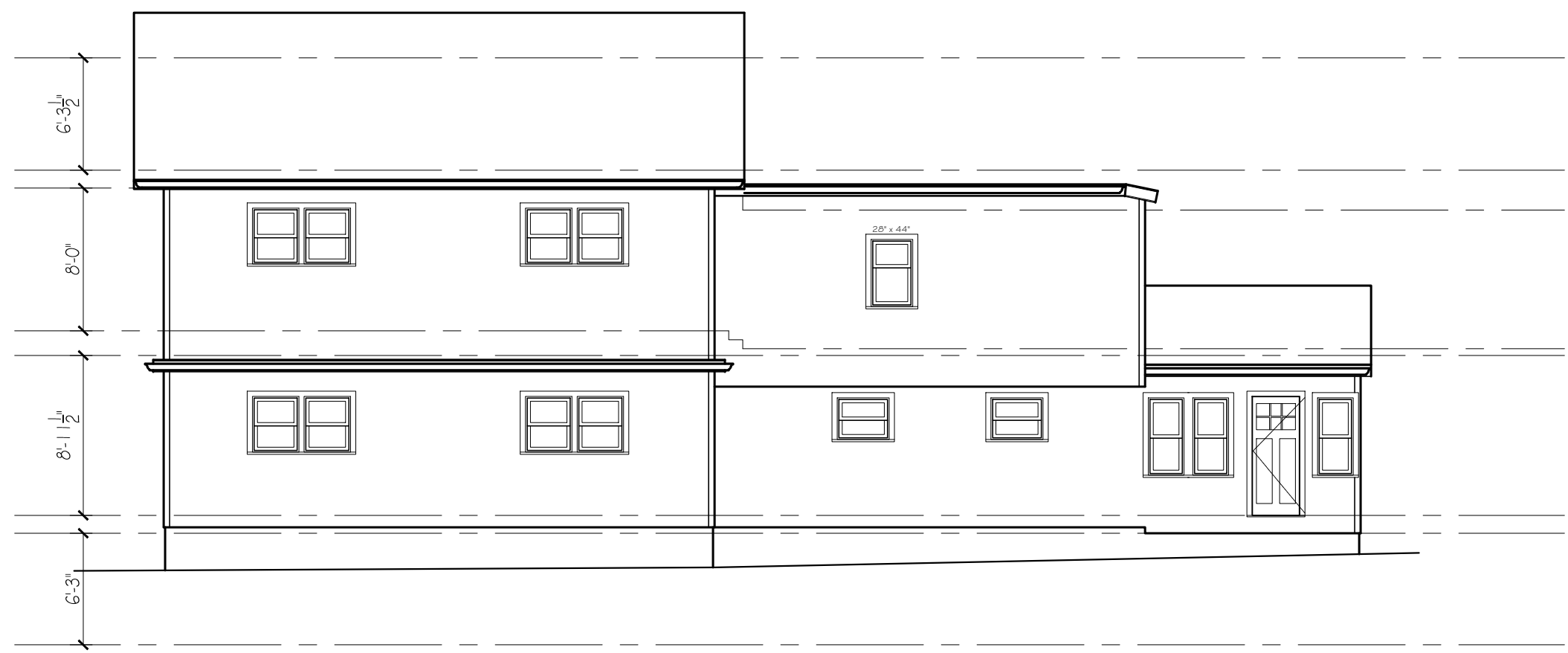


EXISTING REAR ELEVATION
1/8" = 1'-0"



PROPOSED REAR ELEVATION
1/8" = 1'-0"

B

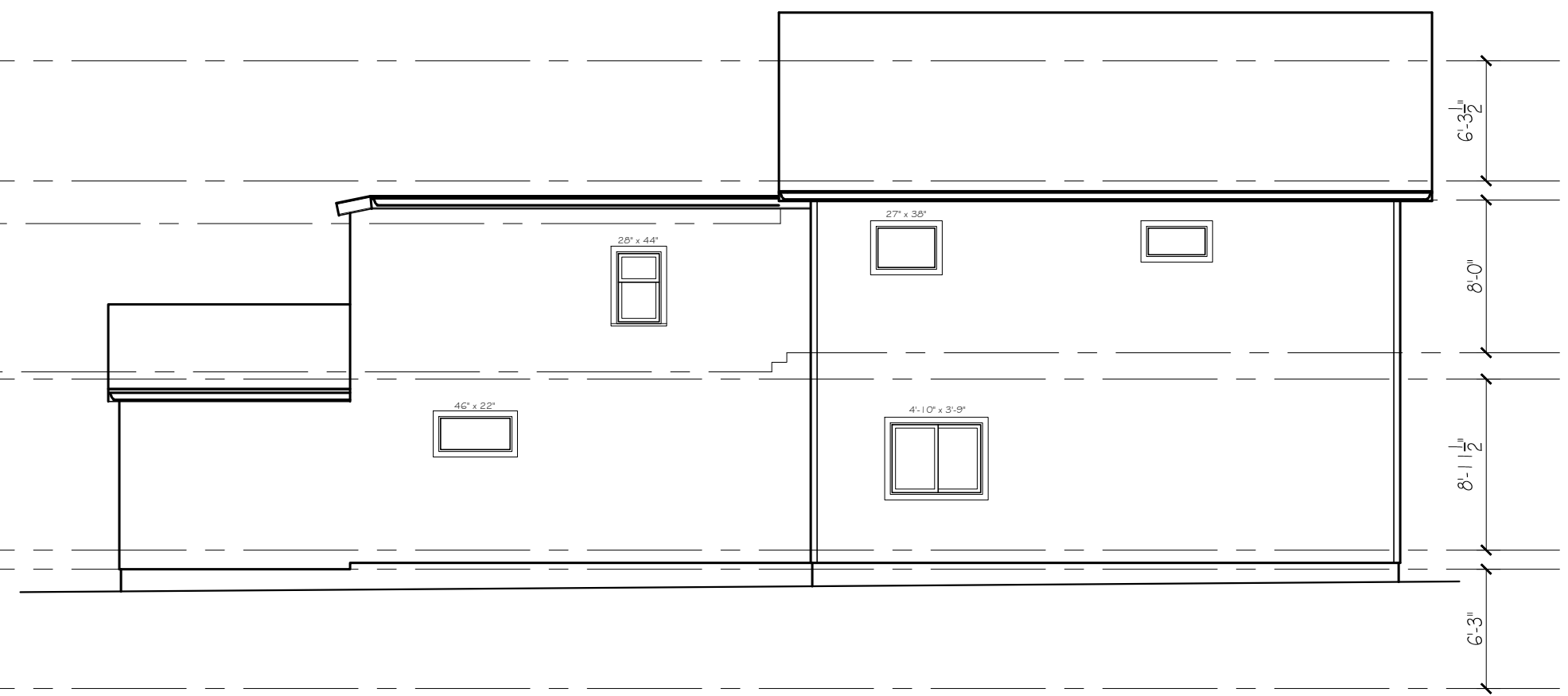


EXISTING RIGHT SIDE ELEVATION
1/8" = 1'-0"

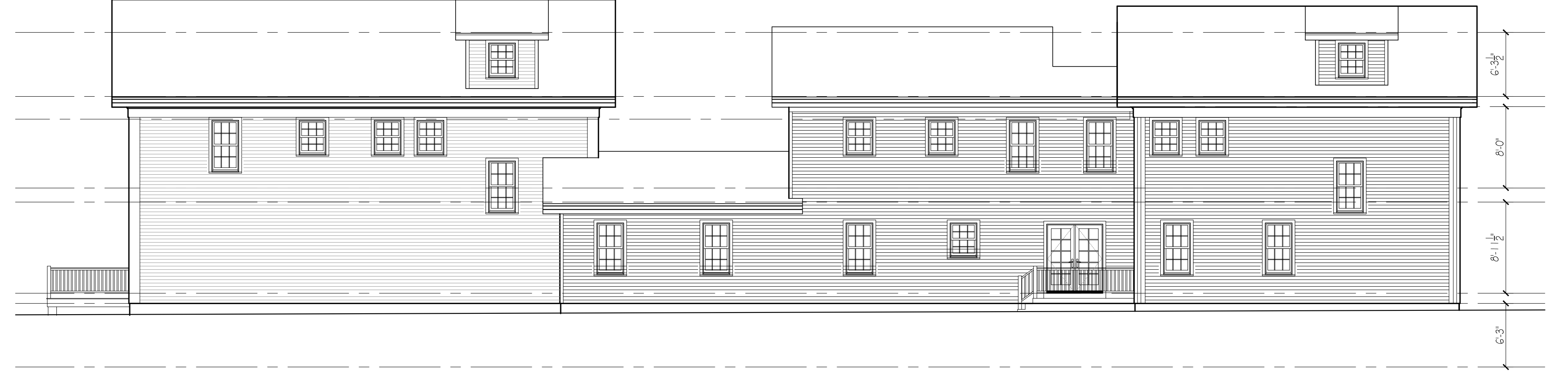


PROPOSED RIGHT SIDE ELEVATION
1/8" = 1'-0"

C



EXISTING LEFT SIDE ELEVATION
1/8" = 1'-0"



PROPOSED LEFT SIDE ELEVATION
1/8" = 1'-0"

D



Project Title:

165 FRANKLIN STREET
ARLINGTON, MA

Drawing Title:

**PROPOSED RENOVATIONS:
EXTERIOR ELEVATIONS
(EXISTING & PROPOSED)**

Project #

22028

Drawn By:

EE

Reviewed By:

JFR

Scale:

1/8" = 1'-0"

Date:

8DEC23

Drawing #:

SD2.2

A

B

C

D



PROPOSED FRONT ELEVATION
1/4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION
3/16" = 1'-0"



165 FRANKLIN STREET
ARLINGTON, MA

PROPOSED RENOVATIONS:
EXTERIOR ELEVATIONS

Project # 22028
Drawn By: EE Reviewed By: JFR
Scale: 1/8" = 1'-0" Date: 8DEC23

Drawing #:
SD2.1

THE ARLINGTON HISTORICAL COMMISSION
WHITTEMORE ROBBINS HOUSE
ARLINGTON, MASSACHUSETTS 02476

Menotomy • 1635 West Cambridge • 1807 Arlington • 1867

Memorandum

DATE: **January 30, 2024**
TO: **Michael Ciampa, Director, Arlington Inspectional Services**
CC: **zba@town.arlington.ma.us**
FROM: **JoAnn Robinson, Chair, Arlington Historical Commission**
RE: **165 Franklin Street–Second Phase Decision**

This address is included on the Arlington Historical Commission Inventory of Significant Properties. The significant Greek revival building was built about 1850. Please see the attached inventory which describes the existing status in 1980.

At the meeting on January 9, 2024 the Arlington Historical Commission voted to approve the following.

The Commissioners approved the plans to build the garage and additional residence at the back of the original house. The plan for this addition is attached to this email. Once again, we will monitor the materials for all windows, siding, trim, etc. for the garage and second residence.

A motion was made by Commissioner Stange to move forward on the plans that describe the footprint and the dimensions of the addition behind the original building. Commissioner Schaefer seconded the motion and a roll call vote was taken and all voted in favor of the motion.

Please let me know if you have any questions.

Regards



JoAnn Robinson
Chair, Arlington Historical Commission

Massachusetts Cultural Resource Information System

Scanned Record Cover Page

Inventory No:	ARL.182
Historic Name:	Jones, William H. House
Common Name:	
Address:	165-167 Franklin St
City/Town:	Arlington
Village/Neighborhood:	Arlington Center;
Local No:	155;
Year Constructed:	C 1850
Architectural Style(s):	Greek Revival;
Use(s):	Multiple Family Dwelling House; Single Family Dwelling House;
Significance:	Architecture;
Area(s):	
Designation(s):	
Building Materials:	Roof: Asphalt Shingle; Wall: Wood; Wood Clapboard;
Demolished	No



The Massachusetts Historical Commission (MHC) has converted this paper record to digital format as part of ongoing projects to scan records of the Inventory of Historic Assets of the Commonwealth and National Register of Historic Places nominations for Massachusetts. Efforts are ongoing and not all inventory or National Register records related to this resource may be available in digital format at this time.

The MACRIS database and scanned files are highly dynamic; new information is added daily and both database records and related scanned files may be updated as new information is incorporated into MHC files. Users should note that there may be a considerable lag time between the receipt of new or updated records by MHC and the appearance of related information in MACRIS. Users should also note that not all source materials for the MACRIS database are made available as scanned images. Users may consult the records, files and maps available in MHC's public research area at its offices at the State Archives Building, 220 Morrissey Boulevard, Boston, open M-F, 9-5.

Users of this digital material acknowledge that they have read and understood the MACRIS Information and Disclaimer (<http://mhc-macris.net/macrisdisclaimer.htm>)

Data available via the MACRIS web interface, and associated scanned files are for information purposes only. THE ACT OF CHECKING THIS DATABASE AND ASSOCIATED SCANNED FILES DOES NOT SUBSTITUTE FOR COMPLIANCE WITH APPLICABLE LOCAL, STATE OR FEDERAL LAWS AND REGULATIONS. IF YOU ARE REPRESENTING A DEVELOPER AND/OR A PROPOSED PROJECT THAT WILL REQUIRE A PERMIT, LICENSE OR FUNDING FROM ANY STATE OR FEDERAL AGENCY YOU MUST SUBMIT A PROJECT NOTIFICATION FORM TO MHC FOR MHC'S REVIEW AND COMMENT. You can obtain a copy of a PNF through the MHC web site (www.sec.state.ma.us/mhc) under the subject heading "MHC Forms."

Commonwealth of Massachusetts
Massachusetts Historical Commission
220 Morrissey Boulevard, Boston, Massachusetts 02125
www.sec.state.ma.us/mhc

This file was accessed on: Tuesday, October 3, 2023 at 4:23 PM

FORM B - BUILDING

MASSACHUSETTS HISTORICAL COMMISSION
294 Washington Street, Boston, MA 02108

Area	Form no. <u>155</u> <u>182</u>
------	--------------------------------------

Pl - Arl. Cut.



Draw map showing property location in relation to nearest cross streets and other buildings or geographical features. Indicate north.

Arlington, MA.

65-167 Franklin Street

ic Name William H. Jones House

original residential

resent " "

hip: ☒ Private individual

Private organization

ris F. and Patricia M. Rahilly

Public

original owner William H. Jones

DESCRIPTION:

Date c. 1850

Source Arlington maps and directories

Style Greek Revival/ Frame Vernacular hybrid

Architect

Exterior wall fabric clapboard

Outbuildings

Major alterations (with dates)

Moved Date

Approx. acreage less than 1 acre

Setting

Recorded by E. Gordon, N. Doonan

Organization American Landmarks, Inc.

Date September 23, 1980

ARCHITECTURAL SIGNIFICANCE (describe important architectural features and evaluate in terms of other buildings within community)

One of the few houses in Northeast Arlington which possesses characteristics of a specific architectural style, this Greek Revival dwelling dates to Ca. 1850. Most of the houses on Franklin Street date to the early 20th Century. Its main facade is three bays long. Its main entrance is enframed by wide pilasters and a heavy entablature. The length of the windows to the right of the entrance has been reduced. Its stylistic affiliation notwithstanding, this residence plainly betrays its vernacular origins in the treatment of simple rear eaves and fenestration.

HISTORICAL SIGNIFICANCE (explain the role owners played in local or state history and how the building relates to the development of the community)

This house is the southernmost of a trio of houses on Northern Franklin Street built during the mid 19th Century. From the 1860's until the 1880's it was the residence of William H. Jones. He is listed in the Arlington Mass. Business Directories as a clerk in 1869-70 and as a poultry dealer in 1883. By 1890, another poultry dealer, James H. Russell, occupied this dwelling.

BIBLIOGRAPHY and/or REFERENCES

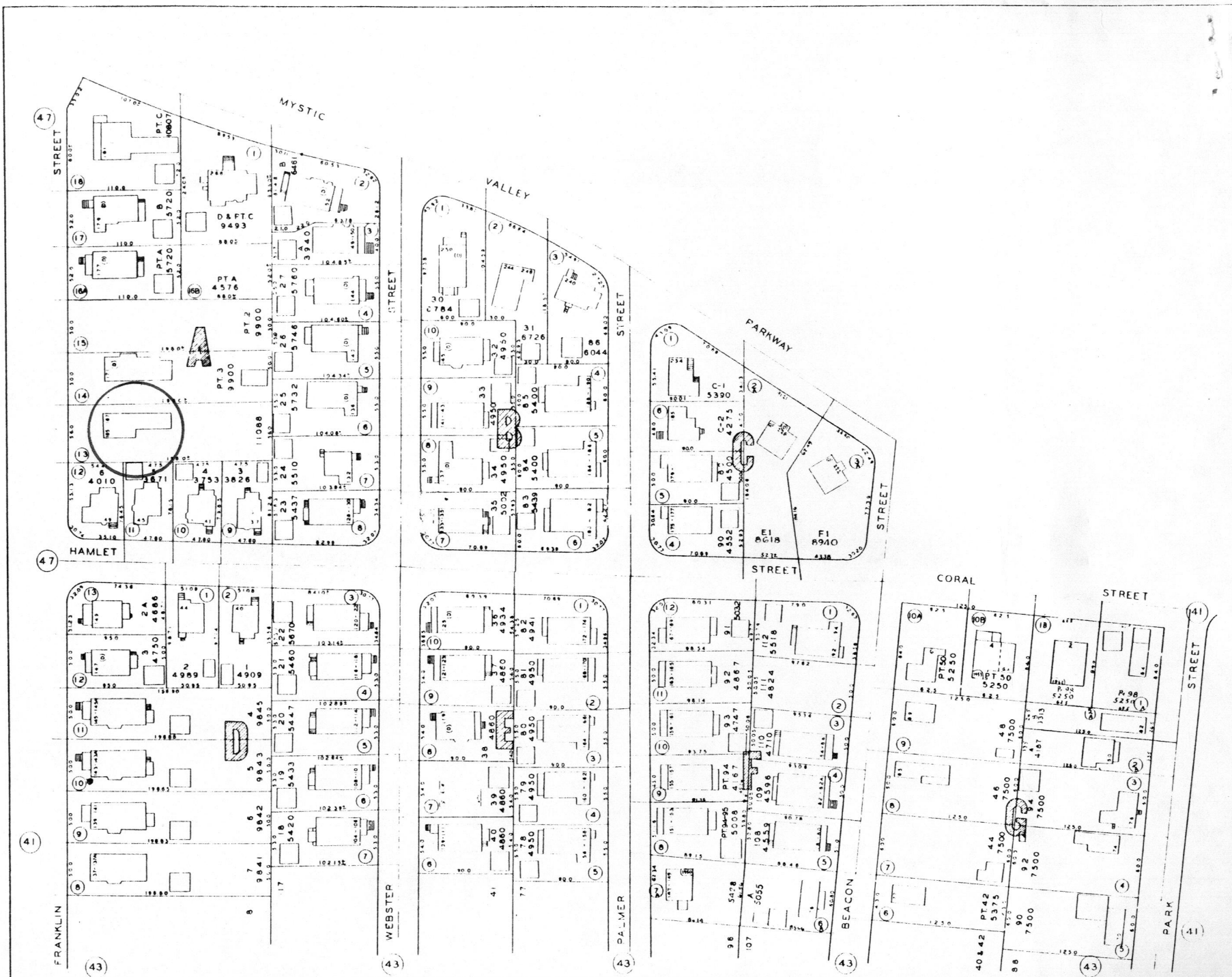
1875 Beers & Co. Atlas

1884 Bird's Eye View of Arlington, Arlington Advocate

1898 Stadley & Co. Atlas

1923 Sanborn Map Co. Atlas

Arlington Directories of 1869/70, 1883, 1890, 1898, 1923



SCALE 50 to 102.40 FEET

BLOCK PLAN NO. 44

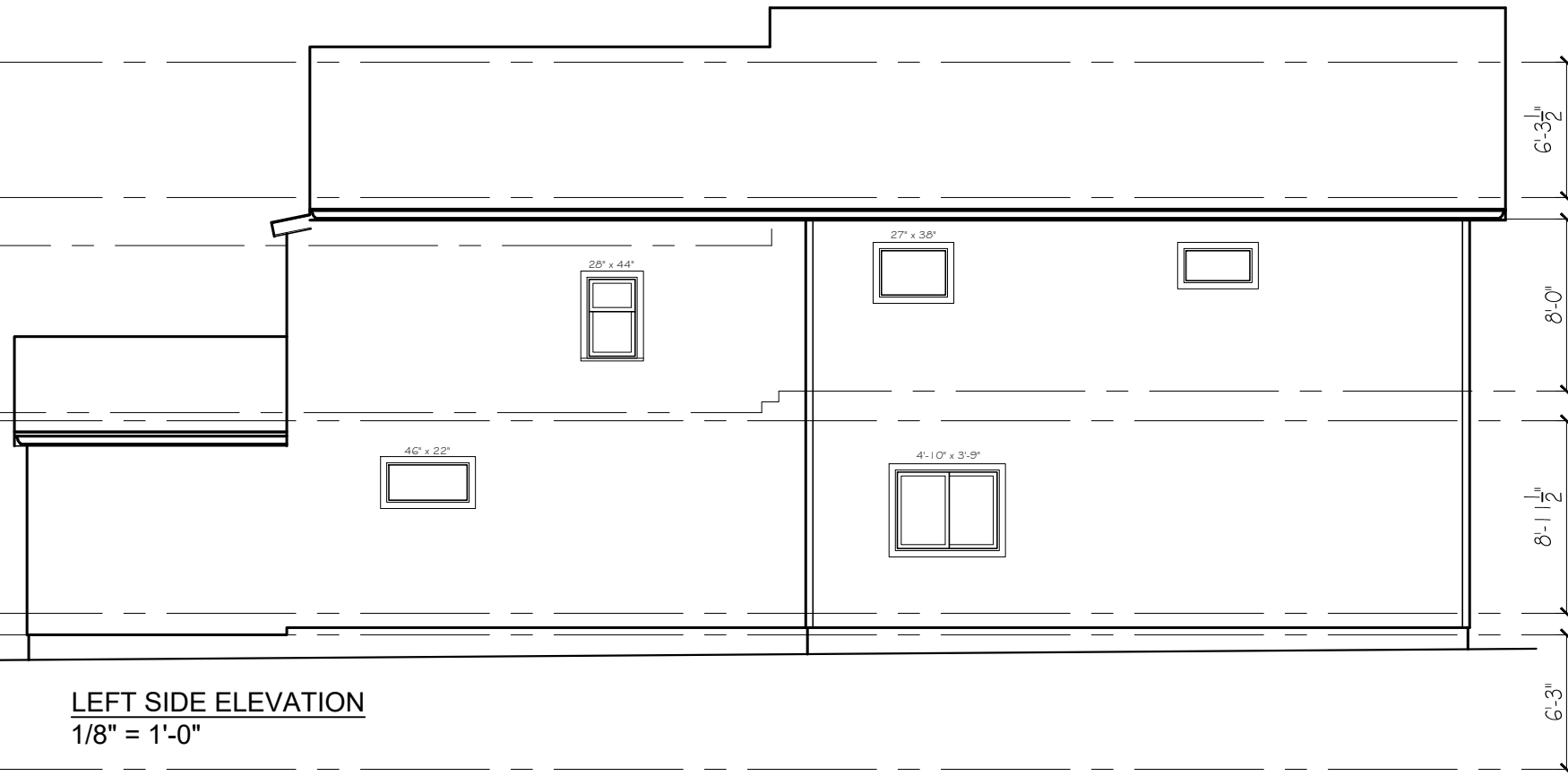
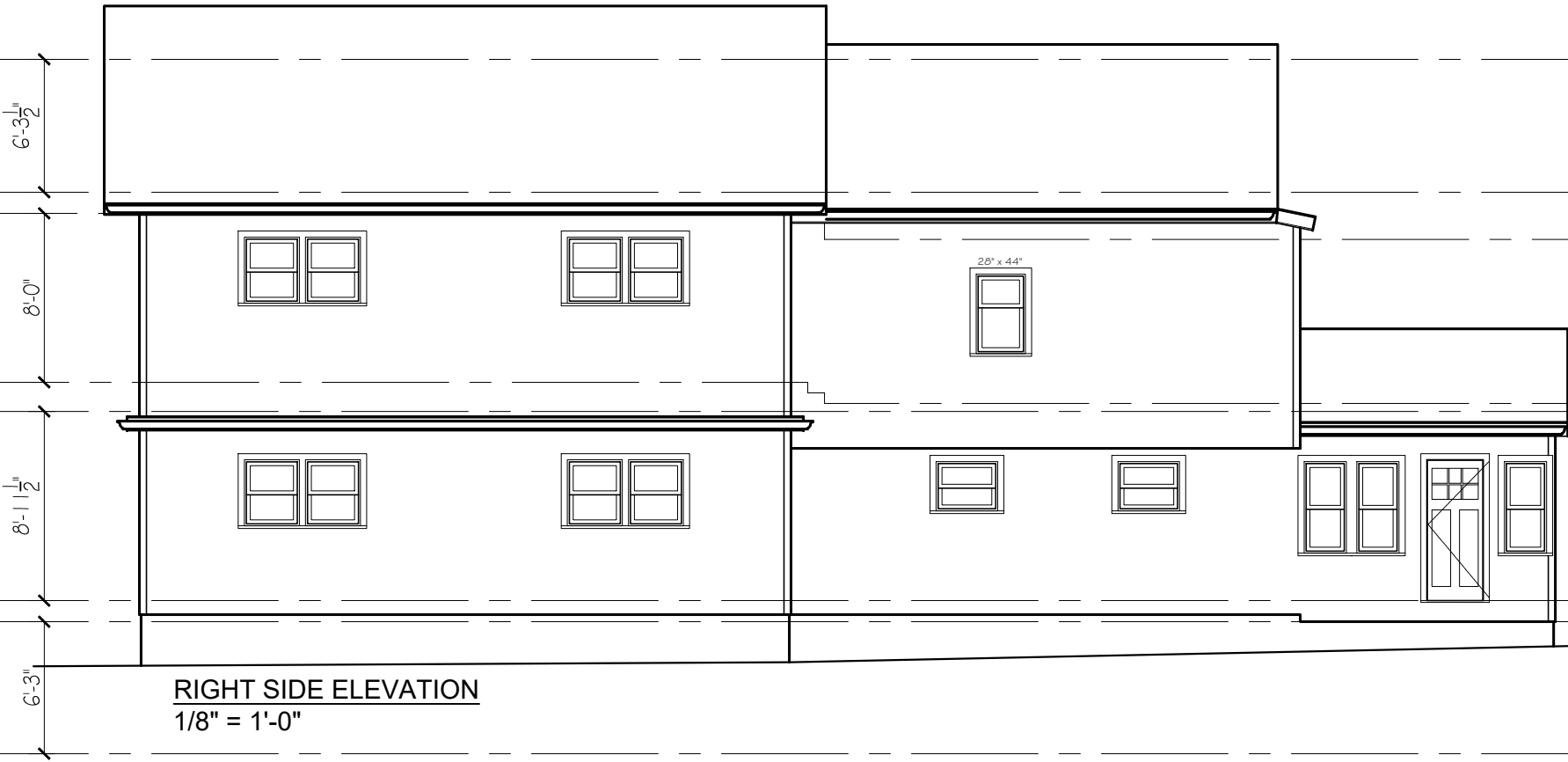
165-167 Franklin Street

A

B

C

D

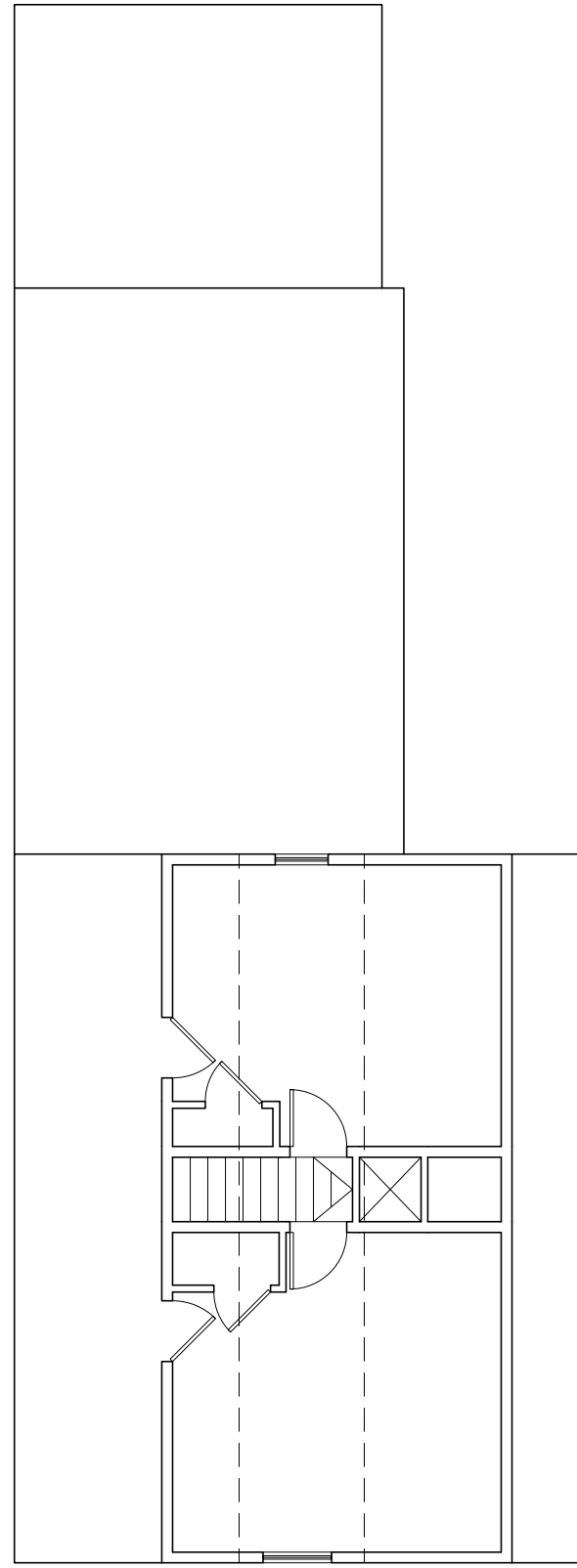
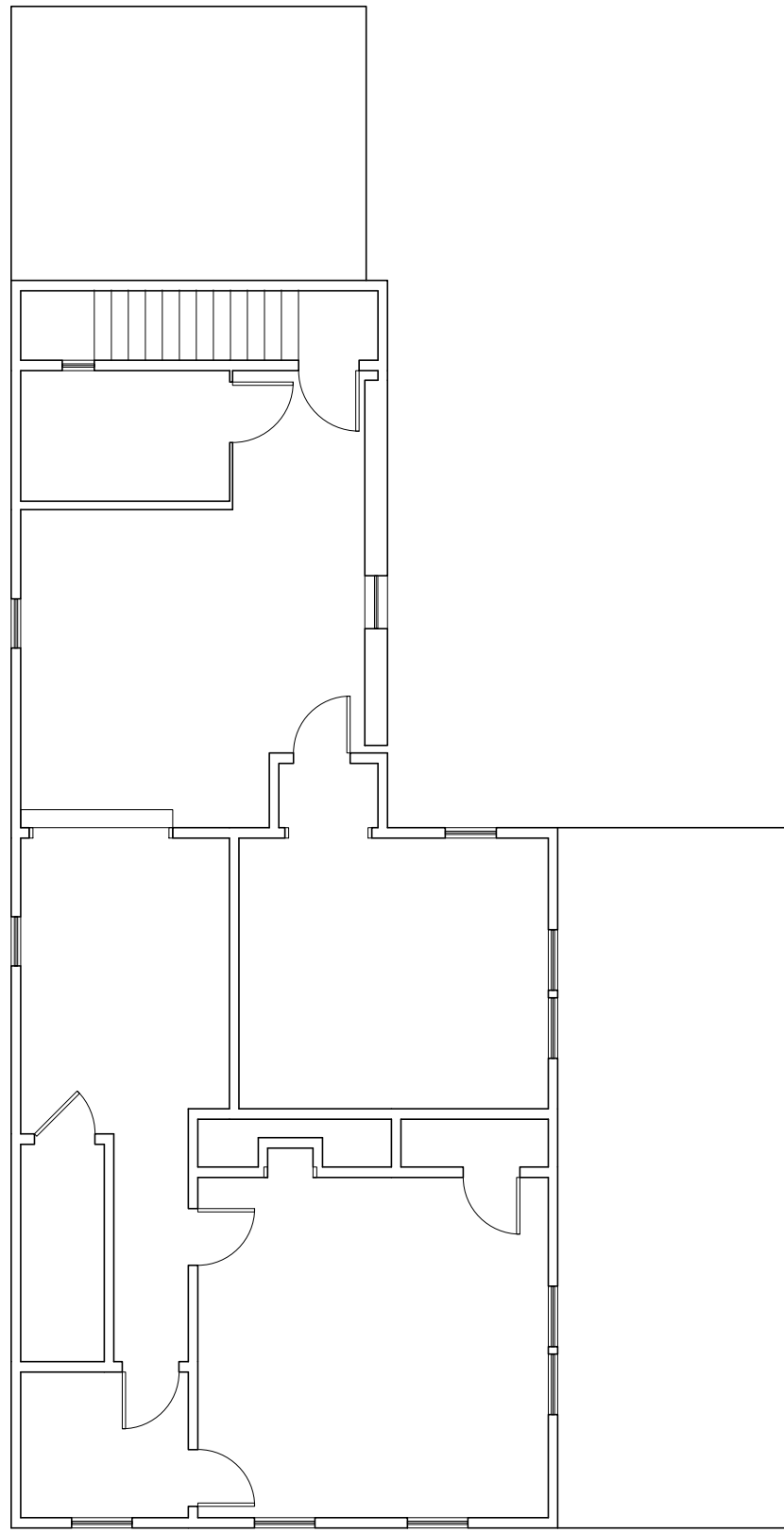
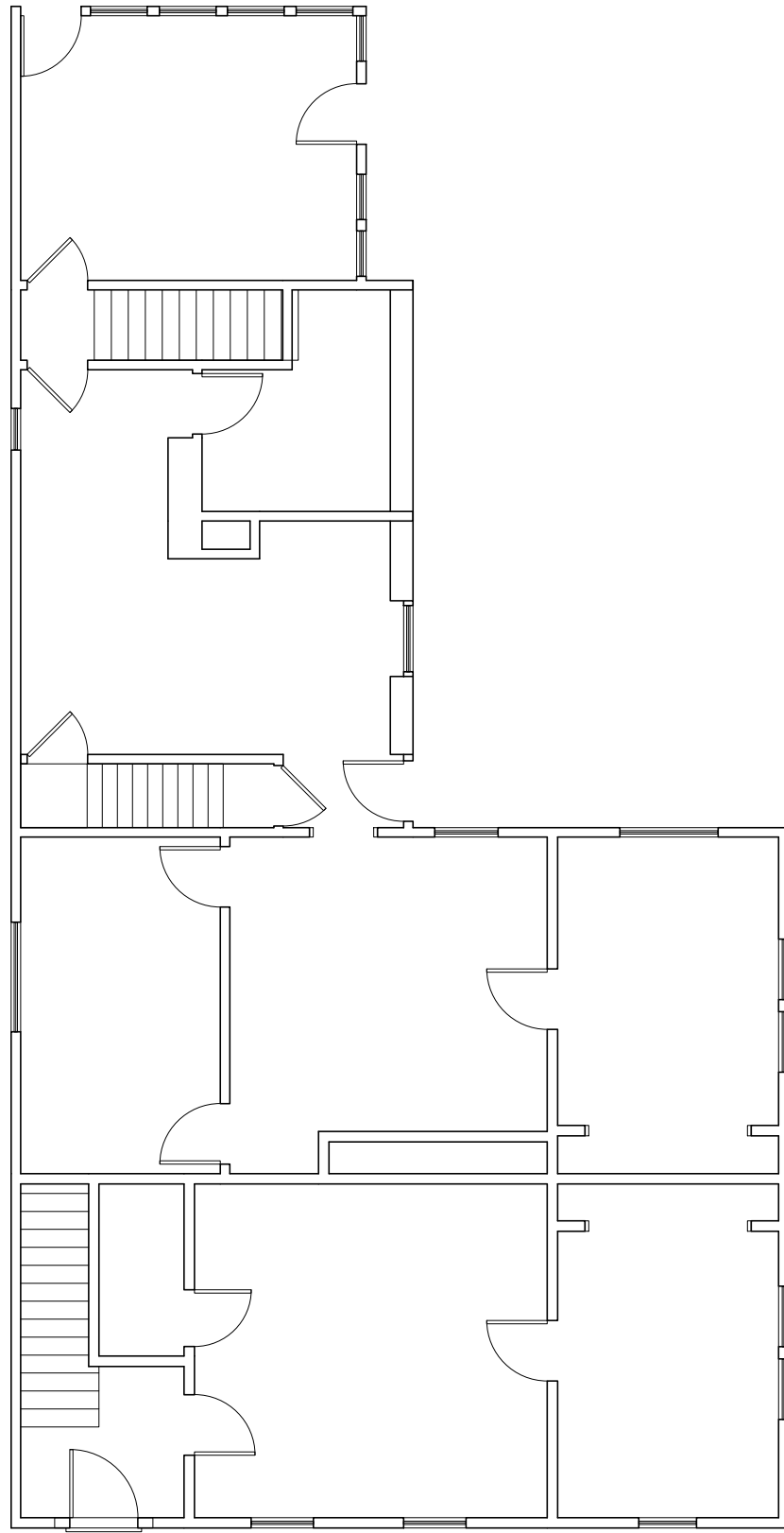
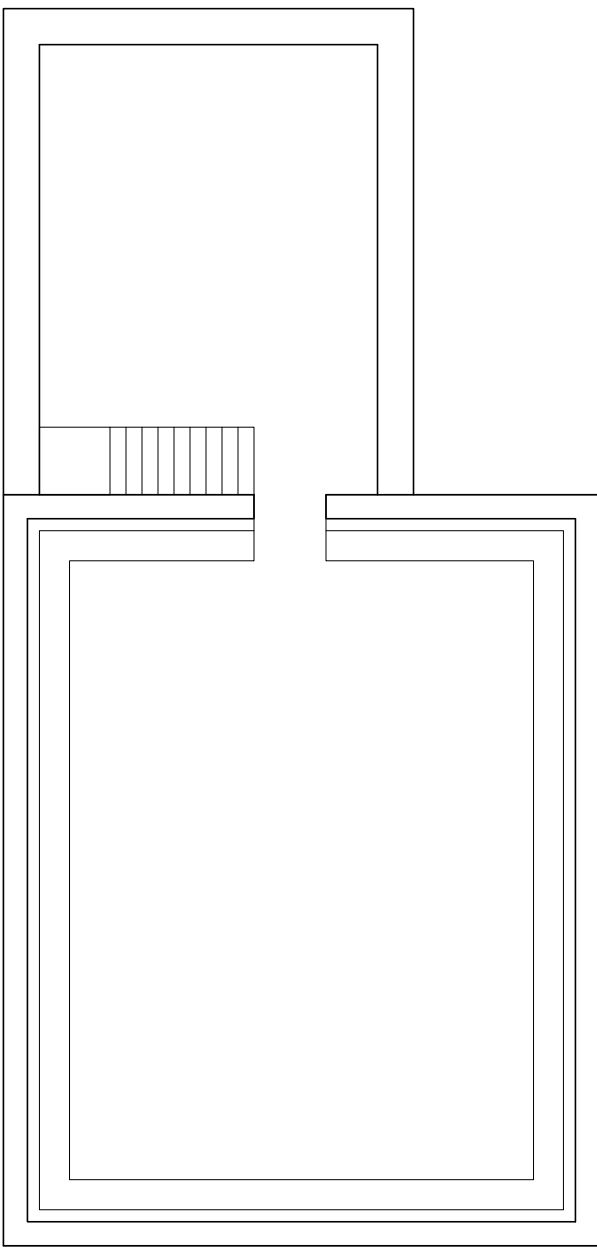


BASEMENT PLAN
1/8" = 1'-0"

FIRST FLOOR PLAN
1/8" = 1'-0"

SECOND FLOOR PLAN
1/8" = 1'-0"

ATTIC PLAN
1/8" = 1'-0"



165 FRANKLIN STREET
ARLINGTON, MA

EXISTING CONDITIONS:
PLANS AND ELEVATIONS

Drawing Title:

Project Title:

Project #

22028

Drawn By:

EE

Reviewed By:

JFR

Scale:

1/8" = 1'-0"

Date:

9JAN24

Drawing #:

EX1.1

LR Designs

DESIGNERS, ARCHITECTS, PLANNERS, DEVELOPMENT ADVISORS

64 ALSTON STREET, SUITE 5
CAMBRIDGE, MA 02139
LDESIGNINC.COM



FRONT ELEVATION
3/32 = 1'-0"



RIGHT SIDE ELEVATION
3/32 = 1'-0"

Address: 165 Franklin Street
Arlington, MA

ing Title: SCHEMATIC DESIGN: EXTERIOR ELEVATIONS

[illegible]

Project #	23057
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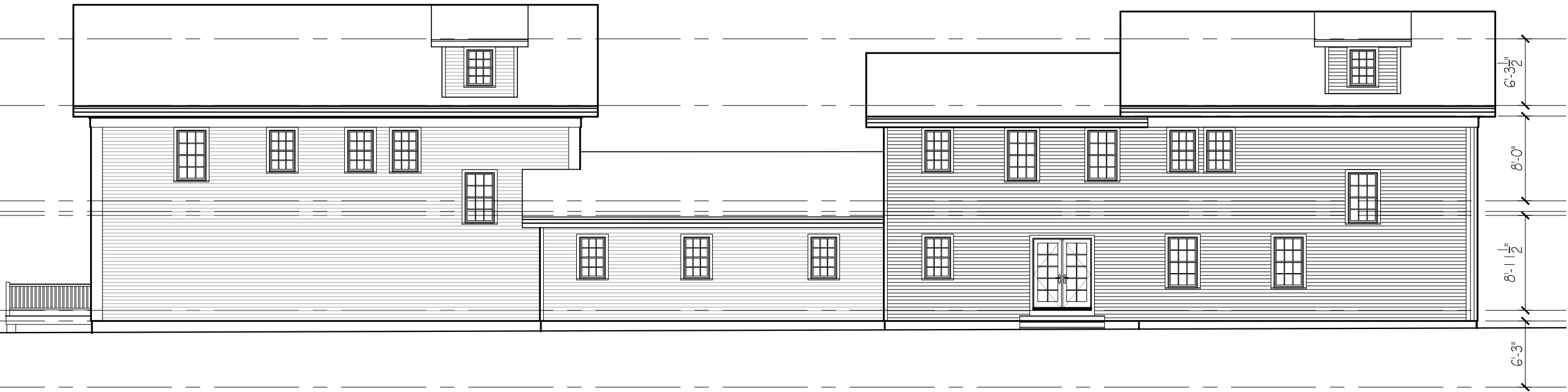
Scale:
 $3/32" = 1'-0"$

Date: 30OCT23
REV 2JAN24

Drawing # SD2.1



REAR ELEVATION
3/32 = 1'-0"



LEFT SIDE ELEVATION
3/32 = 1'-0"

Revisions:		
#	Description	date

D

A



IMAGE 1
FRONT



IMAGE 2
FRONT



IMAGE 3
FRONT

B



IMAGE 4
FRONT CIRCA 1980 - MHC IMAGE



IMAGE 5
FRONT RIGHT CORNER



IMAGE 6
REAR RIGHTSIDE

C

D

LR Designs

DESIGNERS, ARCHITECTS, PLANNERS, DEVELOPMENT ADVISORS

64 ALSTON STREET, SUITE 5

CAMBRIDGE, MA 02139

LRDESIGNINC.COM

Project Title:

165 FRANKLIN STREET
ARLINGTON, MA

Drawing Title:

PHOTO MONTAGE

Project #

22028

Drawn By:

EE

Reviewed By:

JFR

Scale:

1/8" = 1'-0"

Date:

9JAN24

Drawing #:

IMAGES

A



B



C



D

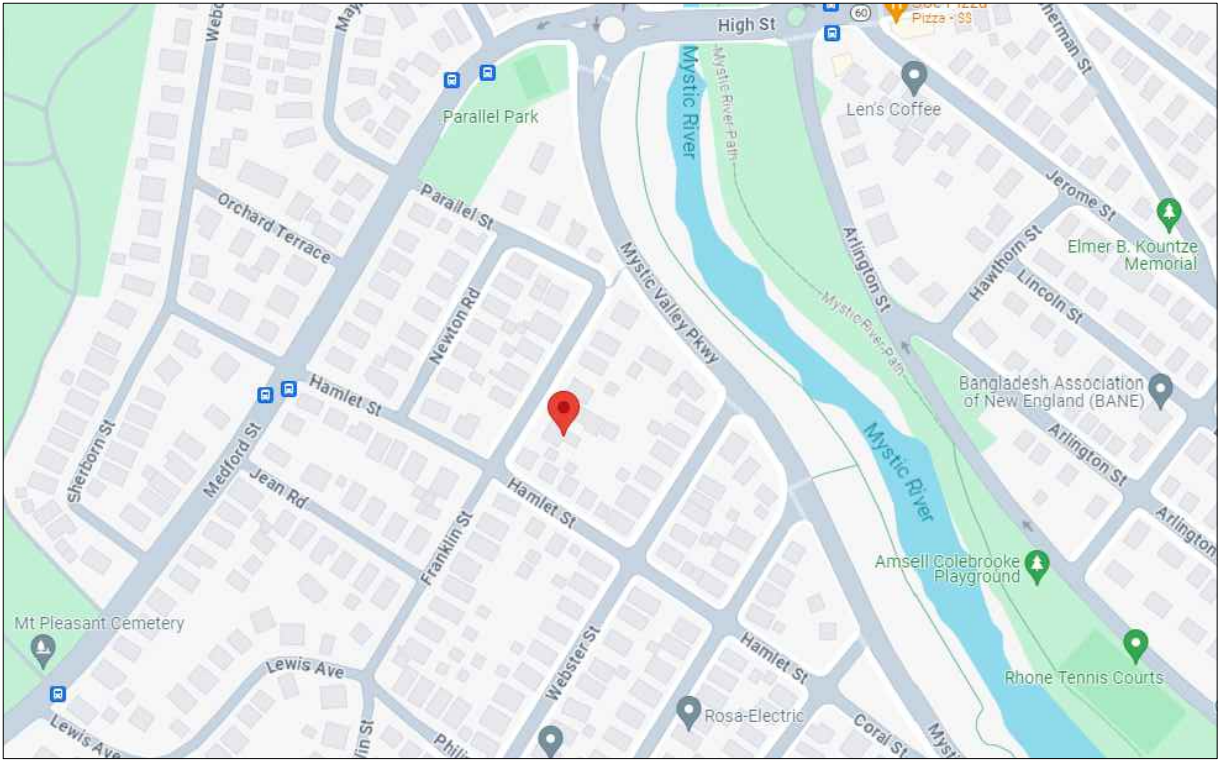
A

B

C

D






PROJECT LOCATION:
165 FRANKLIN ST.
ARLINGTON, MA
ZONING DISTRICT R2- TWO- FAMILY

STRUCTURAL NOTES: ARLINGTON, MA LOADS, PER 780 CMR:
LIVE LOADS 30lb.s/SF (BEDROOMS)
40lb.s/SF (OTHER ROOMS)
GROUND SNOW LOAD 40lb.s/SF
WIND LOAD 127MPH

LIST OF DRAWINGS	
	PERMIT SET
ISSUED	NOV. 15, 2021
COVER	●
Z0.1 ZONING INFORMATION	●
SURVEY	●
EX1.1 EXISTING CONDITIONS: PLANS	●
EX1.2 EXISTING CONDITIONS: PLANS	●
EX2.1 EXISTING CONDITIONS: ELEVATIONS	●
A1.1 PROPOSED PLANS	●
A1.2 PROPOSED PLANS	●
A1.3 PROPOSED PLANS	●
A1.4 PROPOSED PLANS	●
A1.5 PROPOSED PLANS	●
A1.6 PROPOSED PLANS	●
A2.1 PROPOSED ELEVATIONS	●
A3.1 PROPOSED BUILDING DETAILS	●

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT: 780 CMR (2021 IECC)

Building Envelope- Climate Zone 5 Group R	R402.1.3
Roofs	
Attic and other	R-60
Walls, Above Grade	
Wood framed & other	R-20+5
Walls, Below Grade	
Crawlspace Walls	R-15/19
Basement Walls	R-15/19
Floors	
Joist/Framing	R-30
Slab Floors	
Unheated slabs	R-10 for 48 in.
Glazed Fenestration	
Fenestration U- Factor	U-0.30
Skylights	U-0.55
Glazed	U-0.40



DESIGNERS, ARCHITECTS, DEVELOPERS, ADVISORS

165 Franklin Street
Arlington, MA

PROJECT INFORMATION

Revisions:

#	Description	date

Project # 23057

Scale: 1/8" = 1'-0"

Date: 09JAN24

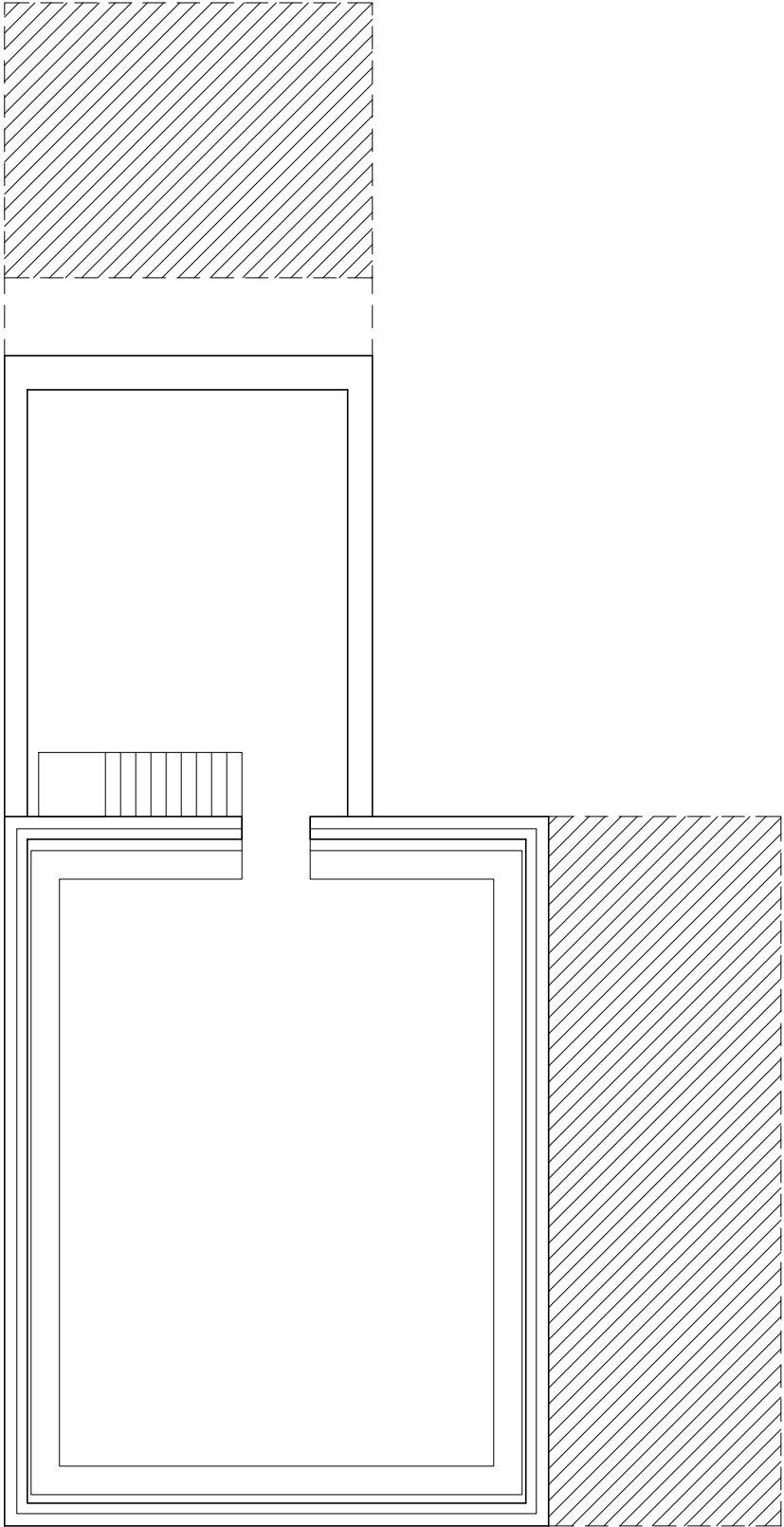
Drawing # COVER

A

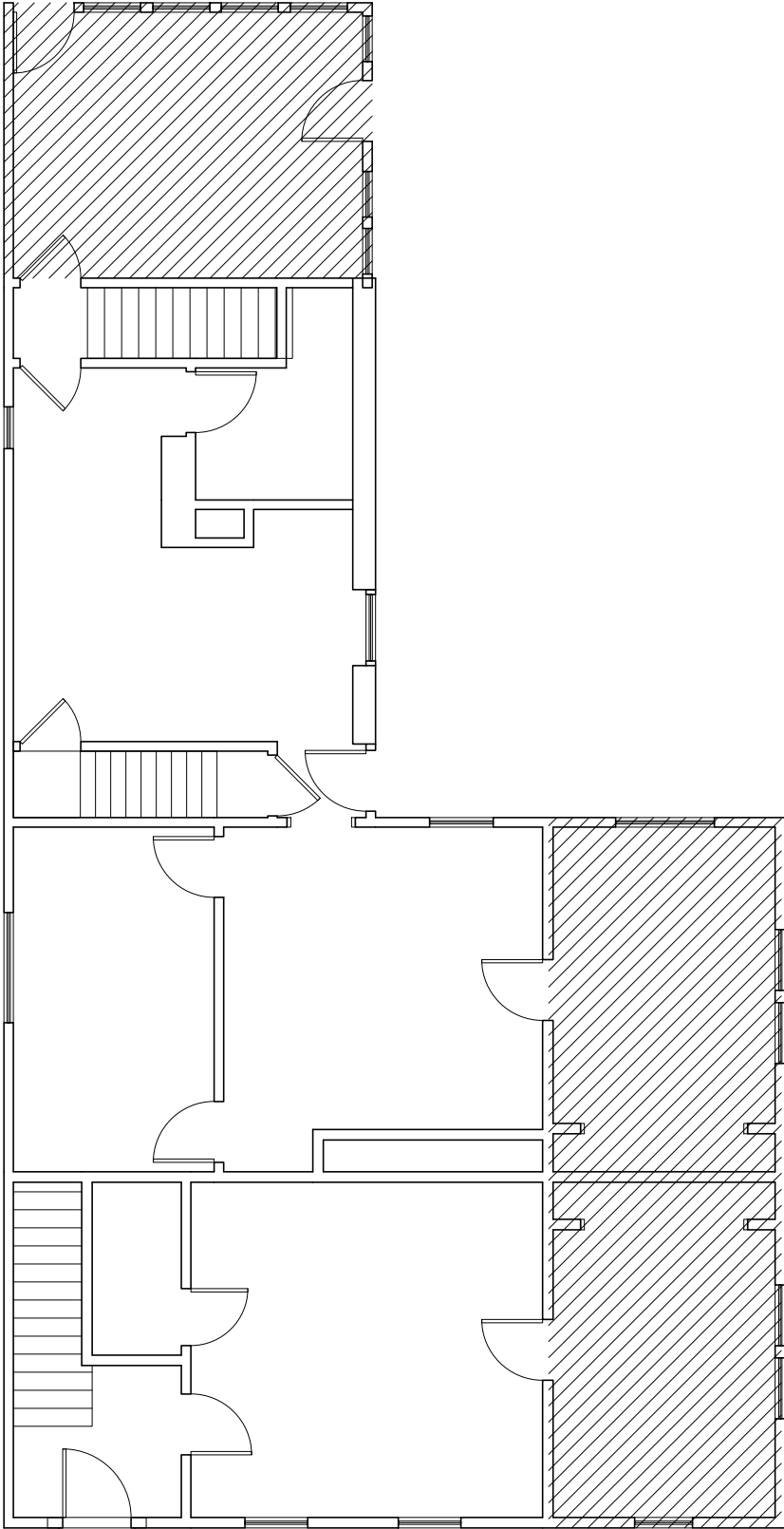
B

C

D



BASEMENT PLAN
1/8" = 1'-0"



FIRST FLOOR PLAN
1/8" = 1'-0"

Revisions:		
#	Description	date

Project #

23057

Scale:

1/8" = 1'-0"

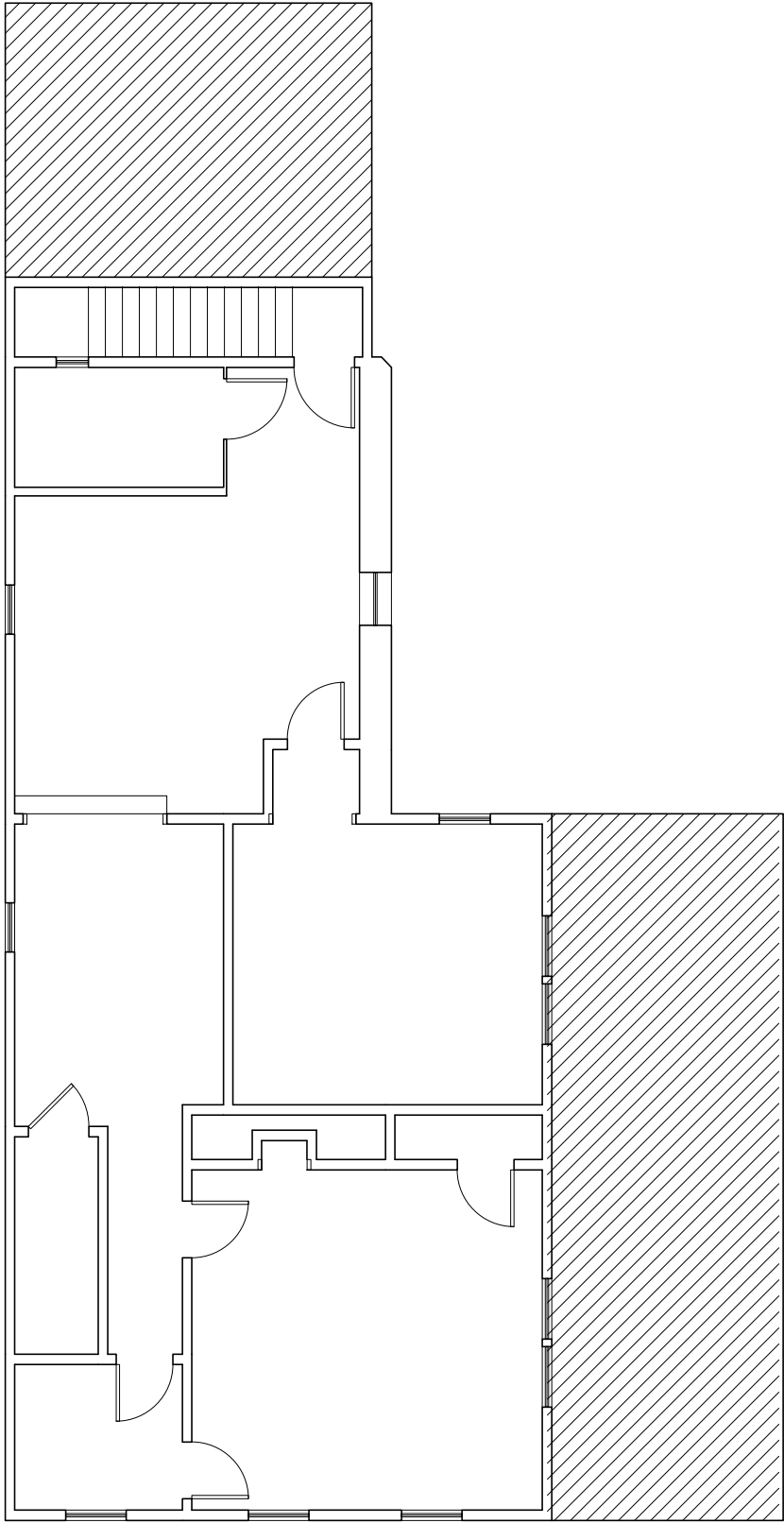
Date:

09JAN24

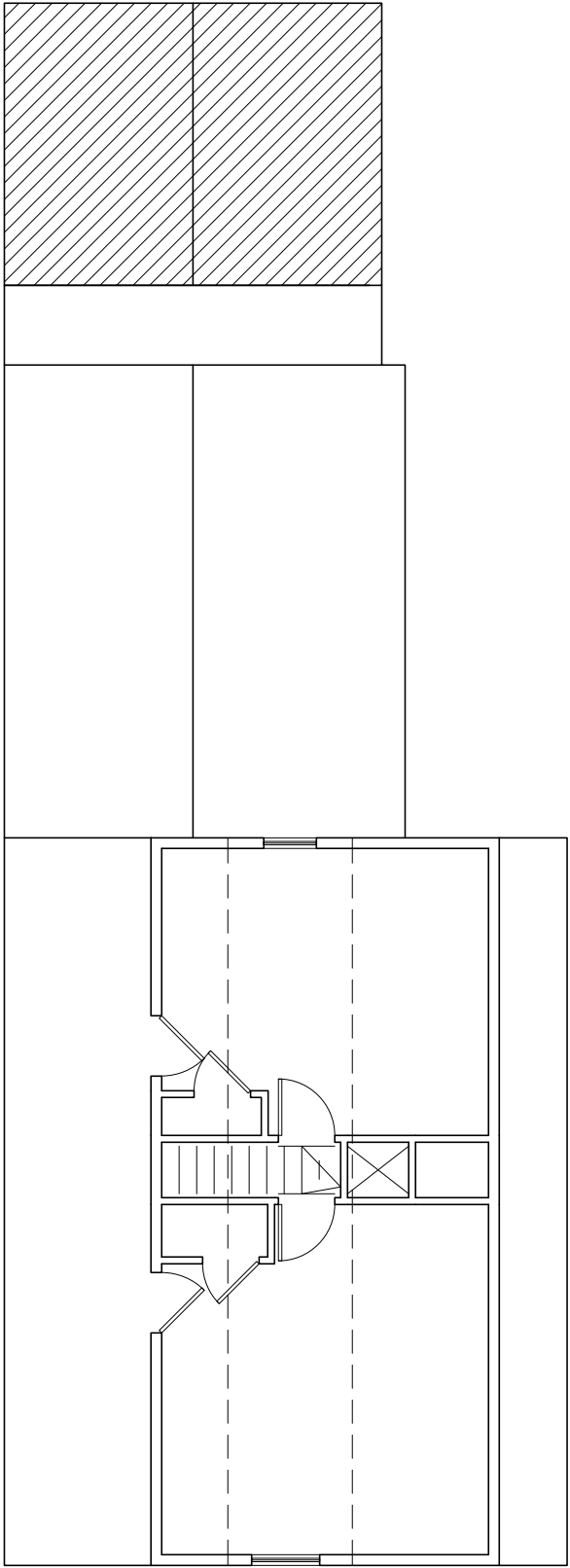
Drawing #

EX1.1


A
B
C
D
1
2
3
4
5



SECOND FLOOR PLAN
1/8" = 1'-0"



ATTIC PLAN
1/8" = 1'-0"



DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS
165 FRANKLIN STREET
SUITE 5
ARLINGTON, MA 02159
617.568.2119
LRDESIGNSONLINE.COM

Project Title:

165 Franklin Street
Arlington, MA

Drawing Title:

EXISTING CONDITIONS:
FLOOR PLANS

Revisions:

#	Description	date

Project #

23057

Scale:

1/8" = 1'-0"

Date:

09JAN24

Drawing #

EX1.2



165 Franklin Street
Arlington, MA

ing Title:

**EXISTING CONDITIONS:
EXTERIOR ELEVATIONS**

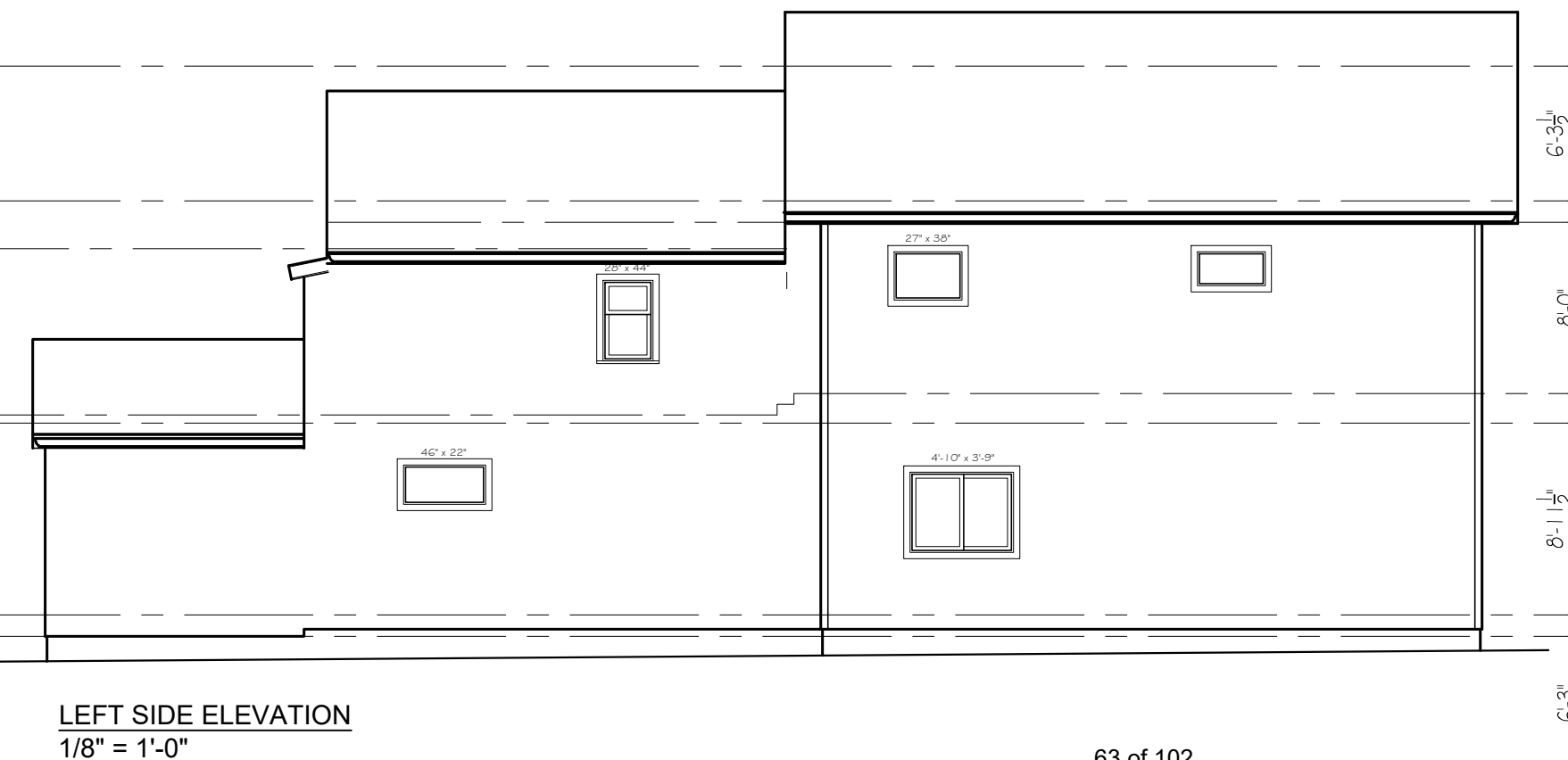
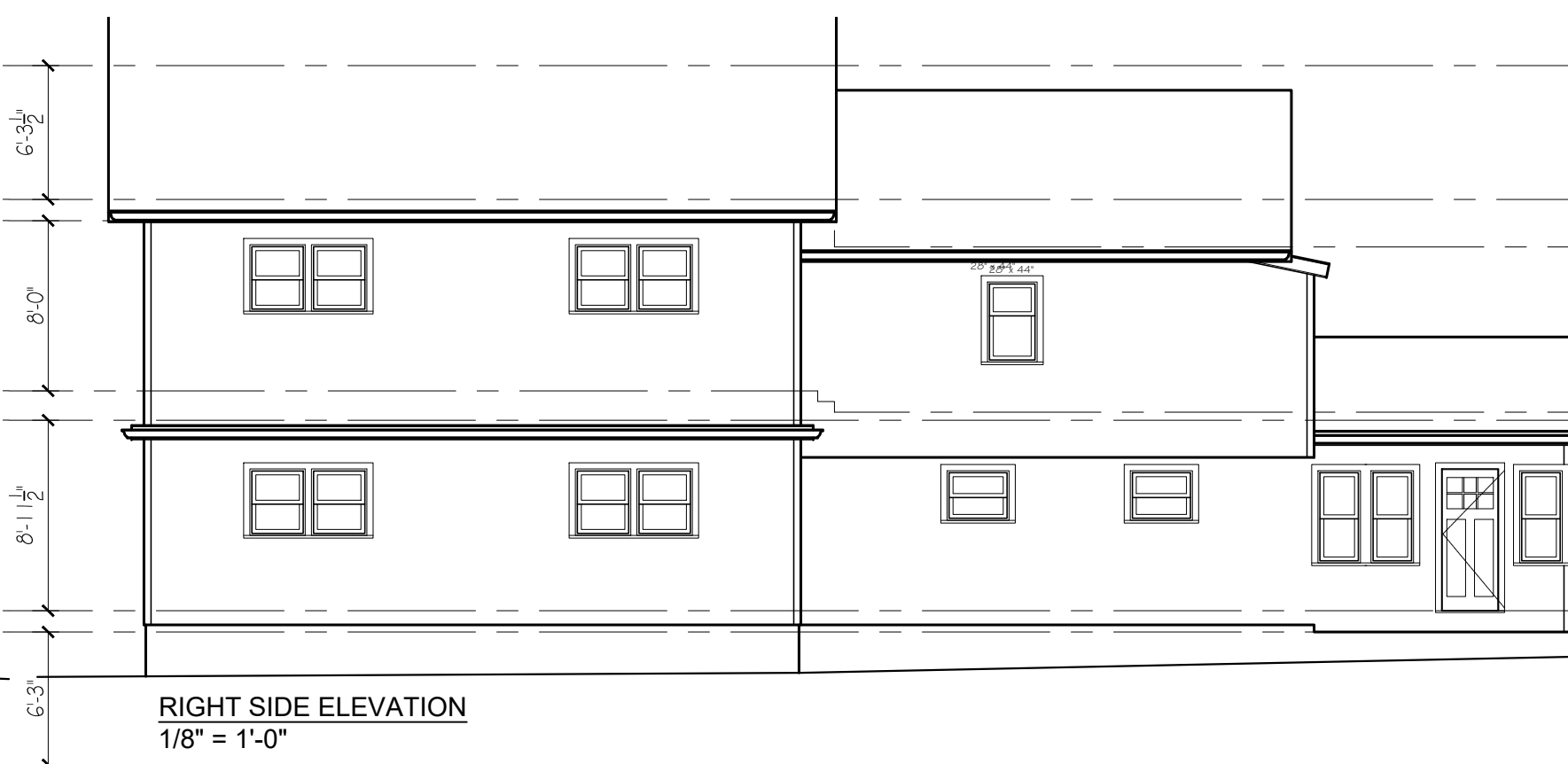
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#	Description	date

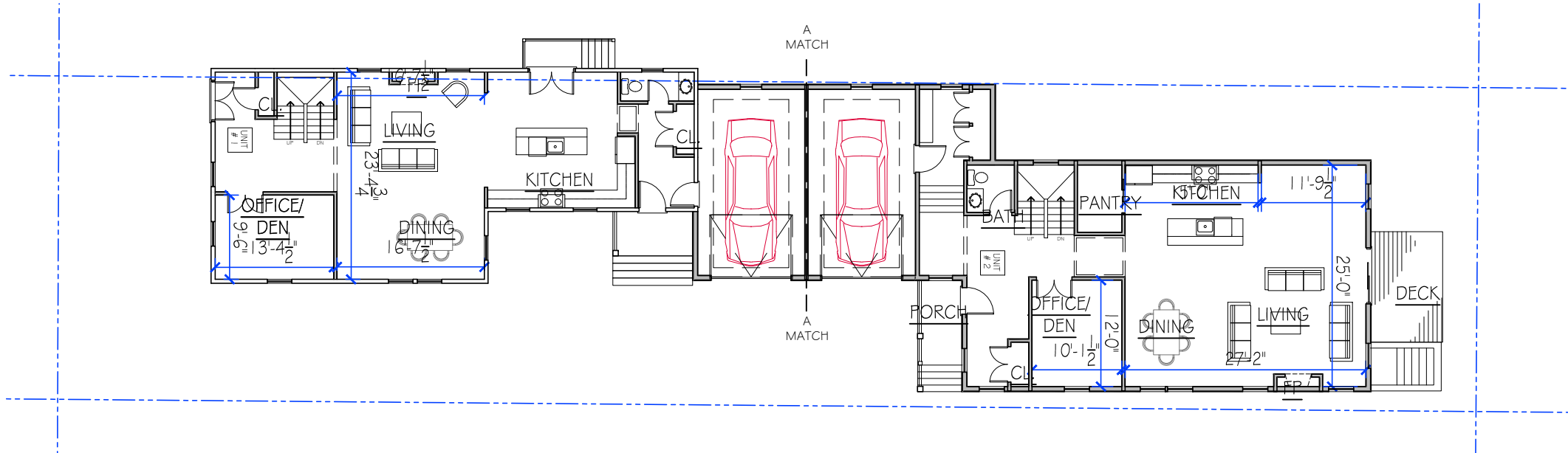
Project #	23057
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Scale: $1/8" = 1'-0"$

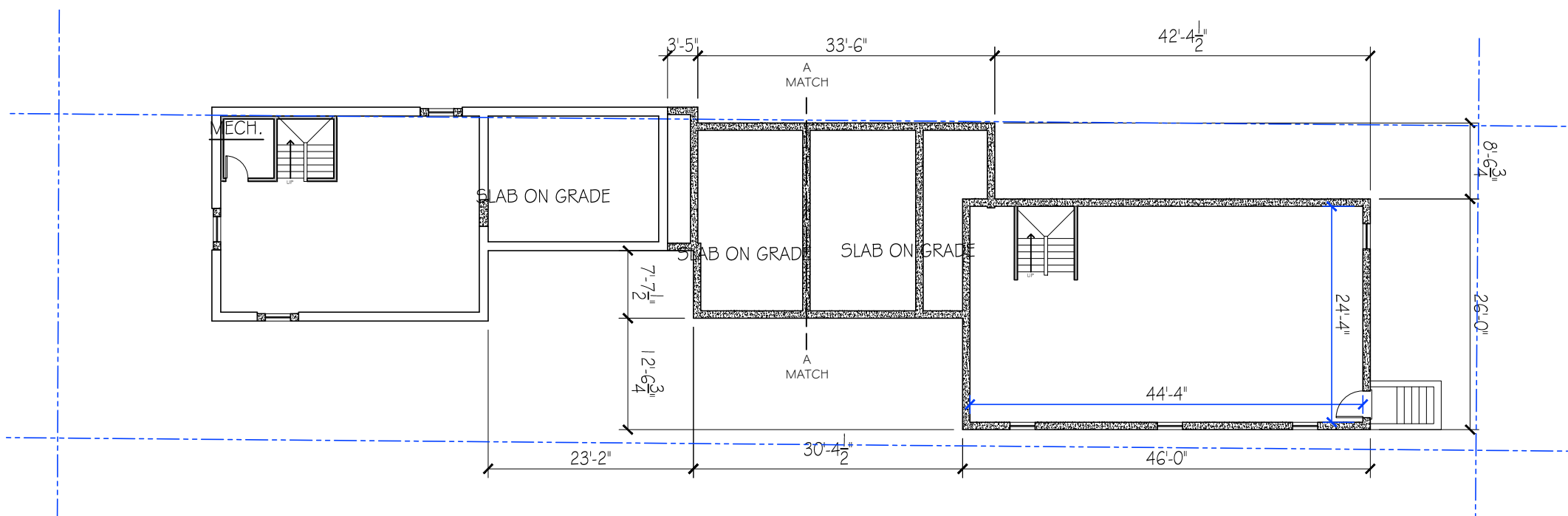
Date: 09JAN24

Drawing # **EX2.1**





FIRST FLOOR PLAN
1/16" = 1'-0"



BASEMENT PLAN
1/16" = 1'-0"

LEGEND

- 1 HOUR RATED ASSEMBLY
- PROPOSED NEW WALL
- 1 HOUR RATED EXTERIOR WALL BASED ON UL V340
- SMOKE/CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR
- HEAT DETECTOR

NOTE ON DIMENSIONS:
DIMENSIONS ARE FROM FACE OF NEW FRAMING, UNLESS OTHERWISE NOTED.

L.R. Designs
DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS
165 FRANKLIN STREET
SUITE 5
ARLINGTON, MA 02159
617.568.2119
LRDESIGNSONLINE.COM

Project Title:
**165 Franklin Street
Arlington, MA**

Drawing Title:
**PROPOSED RENOVATIONS:
FLOOR PLANS**

Revisions:

#	Description	date

Project #
23057

Scale:
1/8" = 1'-0"

Date:
09JAN24

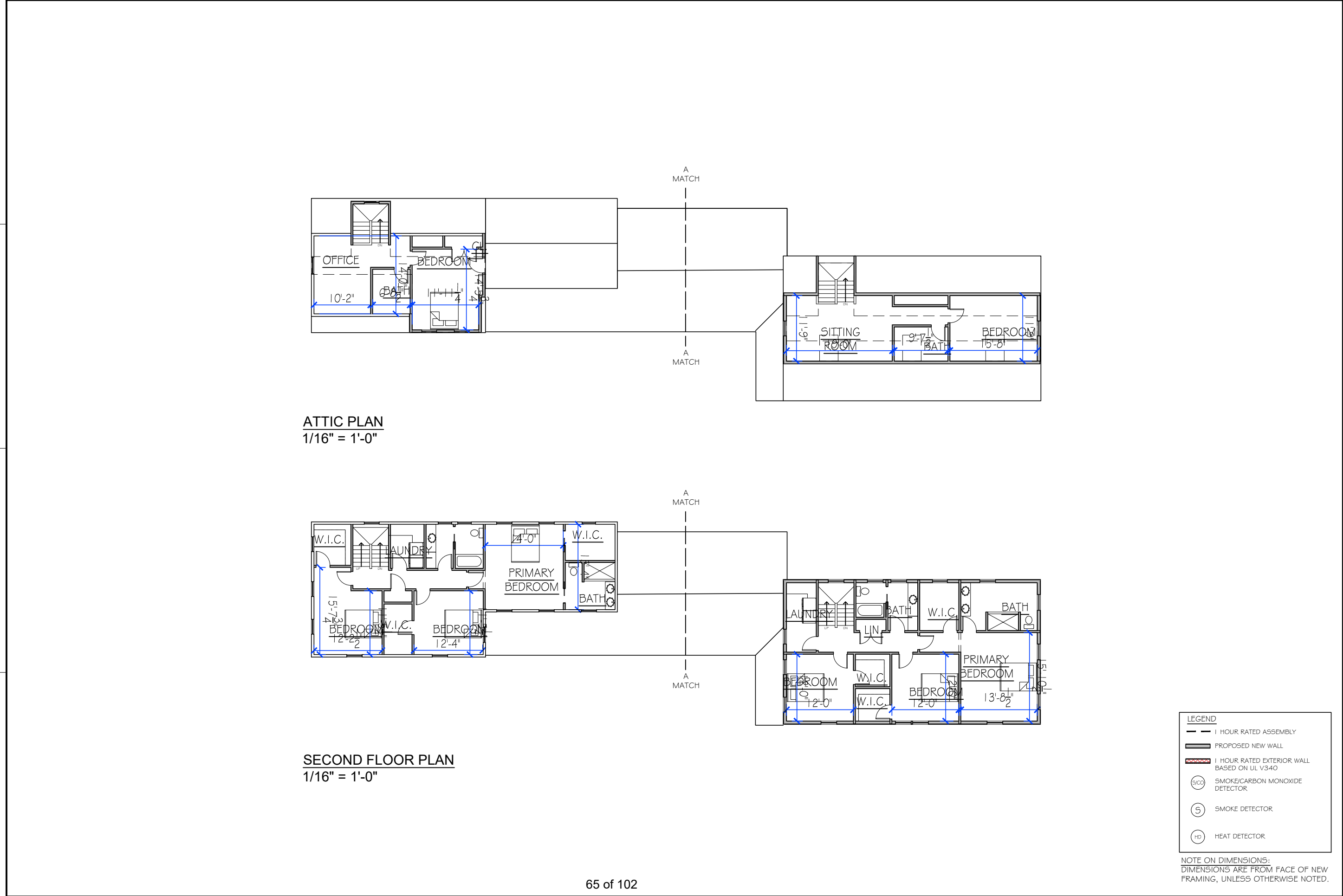
Drawing #
A1.1

A

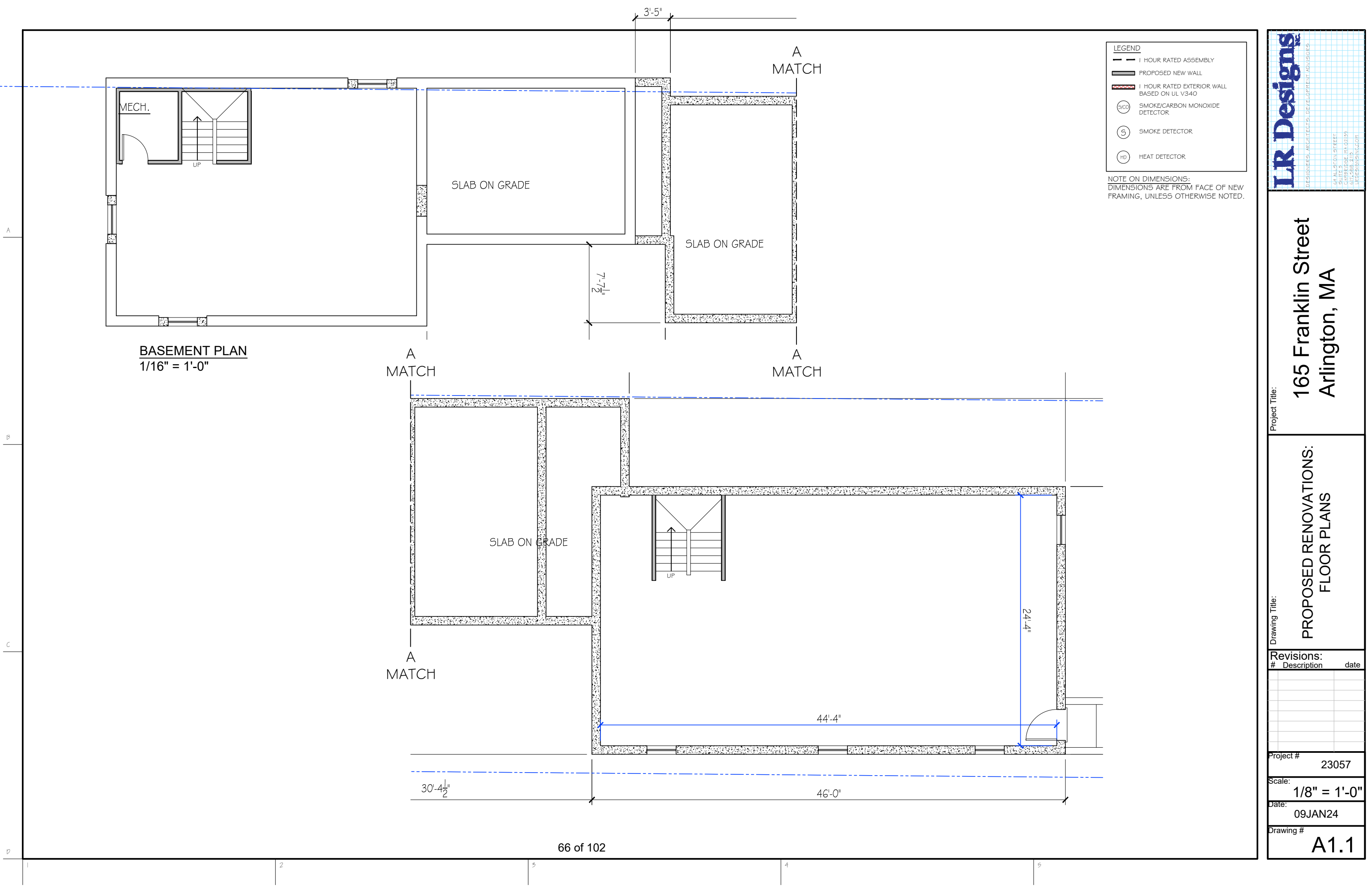
B

C

D



Revisions:		
#	Description	date



L.R. Designs

DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS

165 FRANKLIN STREET
SUITE 5
ARLINGTON, MA 02159
617.568.2119
LRDESIGNS@GMAIL.COM

Project Title:

165 Franklin Street
Arlington, MA

Drawing Title:

PROPOSED RENOVATIONS:
FLOOR PLANS

Revisions:

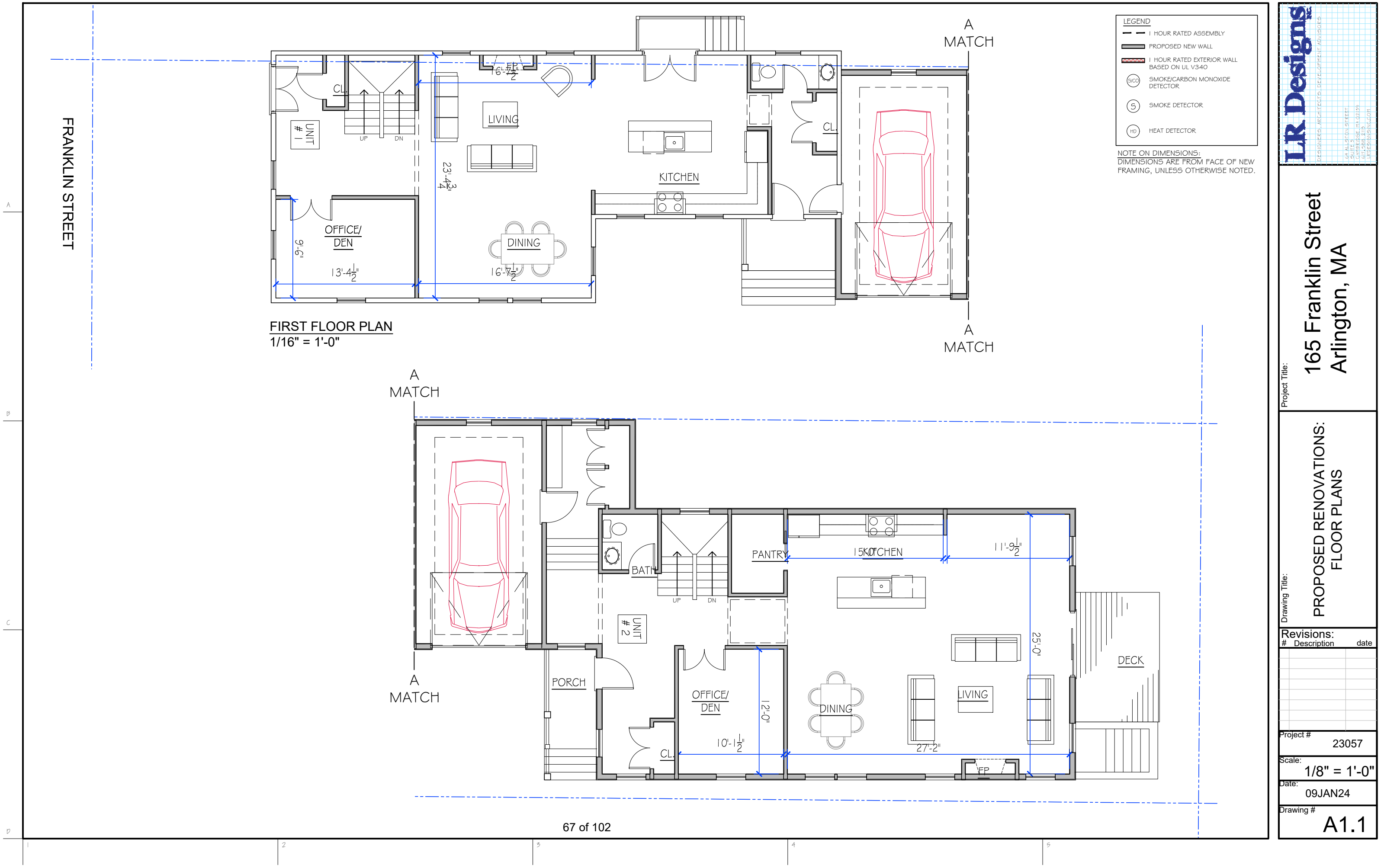
#	Description	date

Project #
23057

Scale:
1/8" = 1'-0"

Date:
09JAN24

Drawing #
A1.1



A

B

C

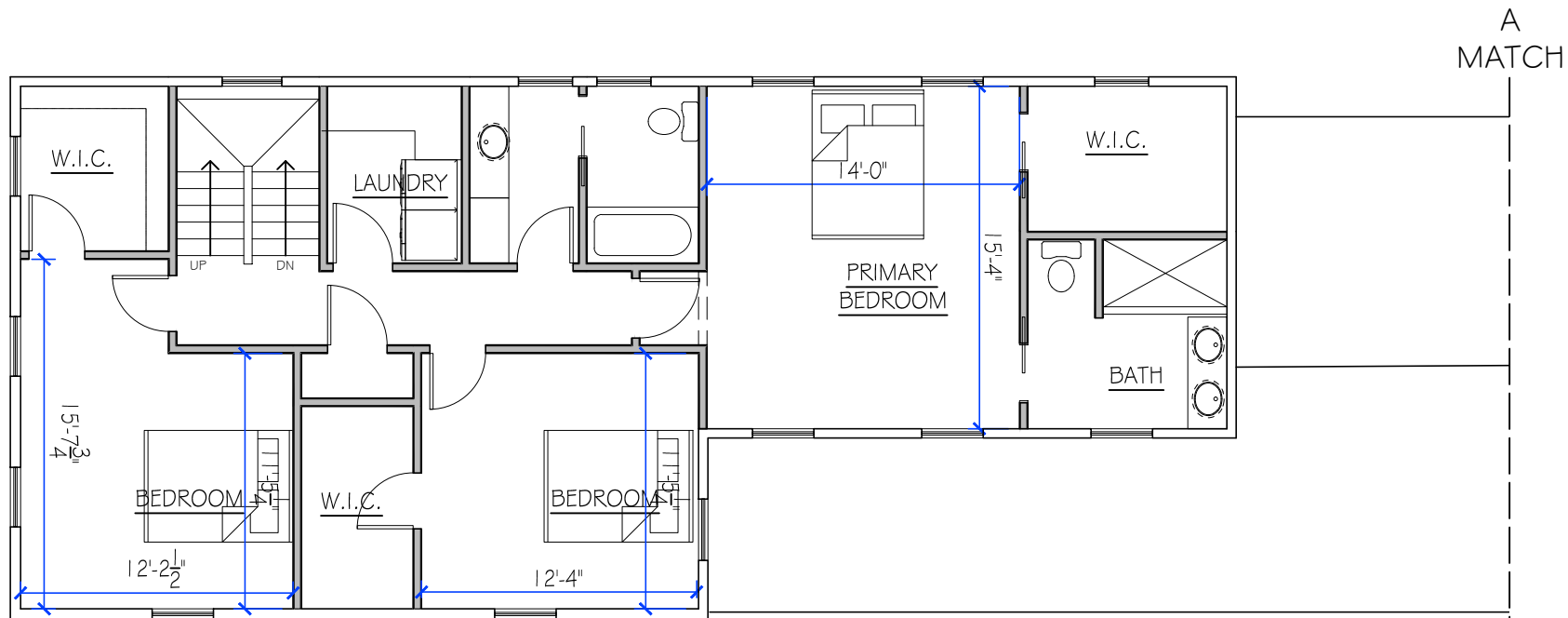
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2

3

4

5

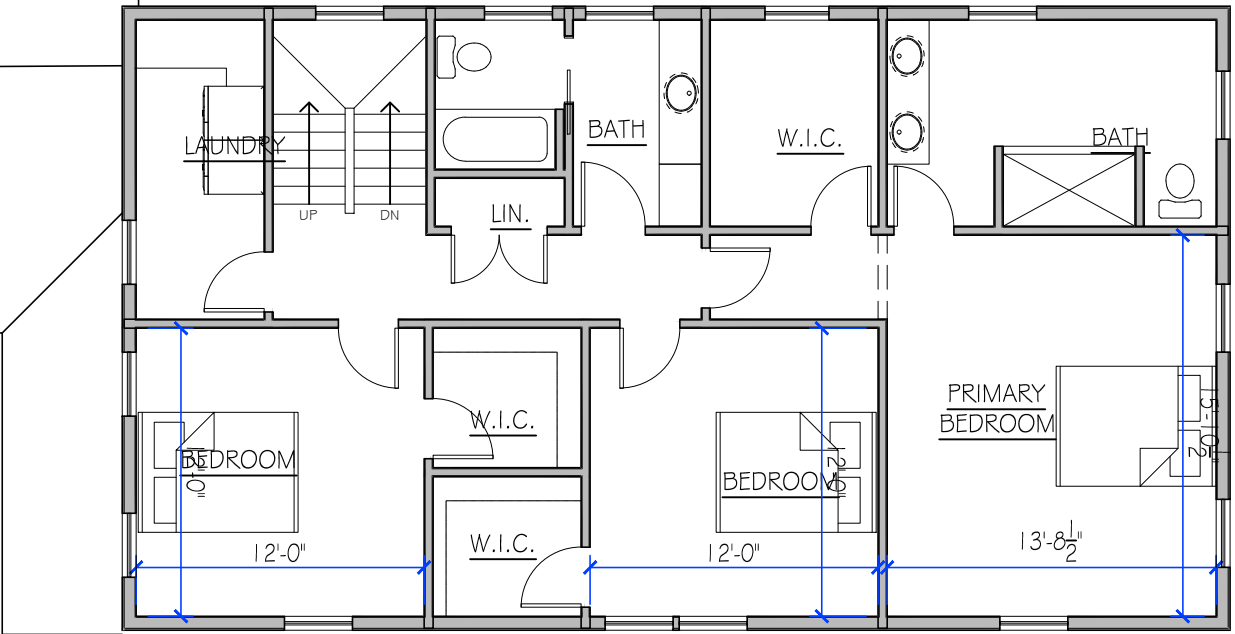


SECOND FLOOR PLAN
1/16" = 1'-0"

A
MATCH

A
MATCH

A
MATCH



LEGEND

- 1 HOUR RATED ASSEMBLY
- PROPOSED NEW WALL
- 1 HOUR RATED EXTERIOR WALL BASED ON UL V340
- SMOKE/CARBON MONOXIDE DETECTOR
- SMOKE DETECTOR
- HEAT DETECTOR

NOTE ON DIMENSIONS:
DIMENSIONS ARE FROM FACE OF NEW
FRAMING, UNLESS OTHERWISE NOTED.

L.R. Designs
DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS
165 FRANKLIN STREET
SUITE 5
ARLINGTON, MA 02461
617.263.2119
LRDESIGNSONLINE.COM

Project Title:
**165 Franklin Street
Arlington, MA**

Drawing Title:
**PROPOSED RENOVATIONS:
FLOOR PLANS**

Revisions:		
#	Description	date

Project #
23057

Scale:
1/8" = 1'-0"

Date:
09JAN24

Drawing #
A1.1

A

B

C

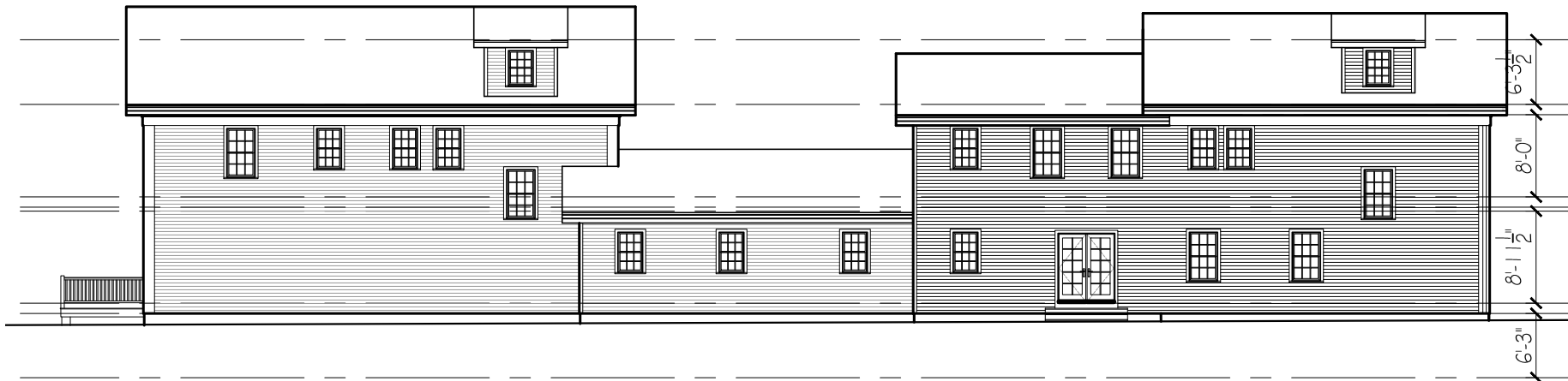
D



FRONT ELEVATION
1/16" = 1'-0"



RIGHT SIDE ELEVATION
1/16" = 1'-0"



LEFT SIDE ELEVATION
1/16" = 1'-0"



REAR ELEVATION
1/16" = 1'-0"

Project Title:

165 Franklin Street
Arlington, MA

Drawing Title:

PROPOSED RENOVATIONS:
BUILDING DETAILS

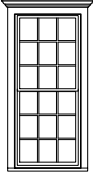
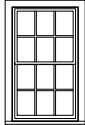
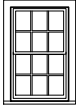

Revisions:		
#	Description	date

Project #
23057

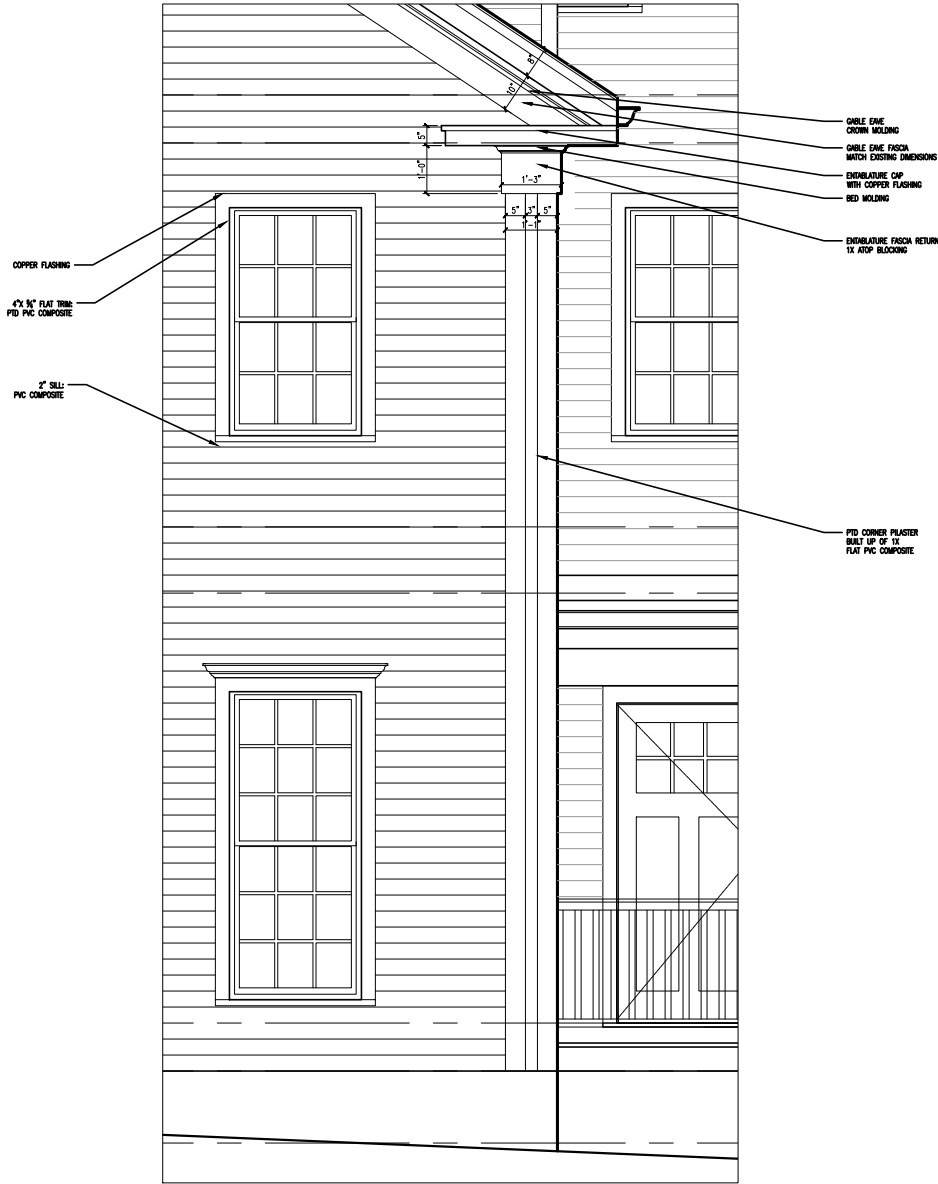
Scale:
1/4" = 1'-0"

Date:
09JAN24

Drawing #
A3.1

WINDOW SCHEDULE							
A		B		C		D	
							
ELEVATION - 1/4" = 1'-0"		ELEVATION - 1/4" = 1'-0"		ELEVATION - 1/4" = 1'-0"		ELEVATION - 1/4" = 1'-0"	
MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 3377	MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 3357	MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 2947	MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 2941
WINDOW TYPE CLAD DOUBLE-HUNG		WINDOW TYPE CLAD DOUBLE-HUNG		WINDOW TYPE CLAD DOUBLE-HUNG		WINDOW TYPE CLAD DOUBLE-HUNG	
ROUGH OPENING 2'-9 3/4" x 6'-5 3/4"	HEADER HEIGHT TBD	ROUGH OPENING 2'-9 3/4" x 4'-9 3/4"	HEADER HEIGHT TBD	ROUGH OPENING 2'-5 3/4" x 3'-11 3/4"	HEADER HEIGHT TBD	ROUGH OPENING 2'-5 3/4" x 3'-5 3/4"	HEADER HEIGHT TBD
REMARKS: SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS: SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS: SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS: SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS	

NOTES:
VERIFY ALL ROUGH OPENINGS. QUANTITIES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
PROVIDE TEMPERED GLAZING AT ALL HAZARD LOCATIONS. VERIFY EGRESS DIMENSIONS AT REQUIRED LOCATIONS.



CORNER BOARD DETAILS
1/4" = 1'-0"

I CERTIFY THAT THIS PLAN WAS MADE FROM AN INSTRUMENT SURVEY ON THE GROUND ON THE DATE OF JULY 21, 2023 AND ALL STRUCTURES ARE LOCATED AS SHOWN HEREON.

ELEVATIONS SHOWN HEREON ARE RELATIVE TO A ASSUMED DATUM OF 500.0'

BENCHMARK:
MAG NAIL SET IN UTILITY POLE
ELEV. = 502.3' (ASSUMED)

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) MAPS, THE MAJOR IMPROVEMENTS ON THIS PROPERTY FALL IN AN AREA DESIGNATED AS
ZONE: X
COMMUNITY PANEL: 25017C0417E
EFFECTIVE DATE: 06-04-2010

PREPARED FOR:
CARMEN & CRISTIAN CHELARIU
165 FRANKLIN ST.
ARLINGTON, MA

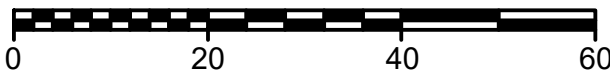
DEED: BK 56731; PG 579
PLAN: BK 1192; PG 181
No. 1324 OF 1929
PL BK 305; PL 19

NOTES:
PARCEL ID:044.0-0001-0013.0
ZONING: R2

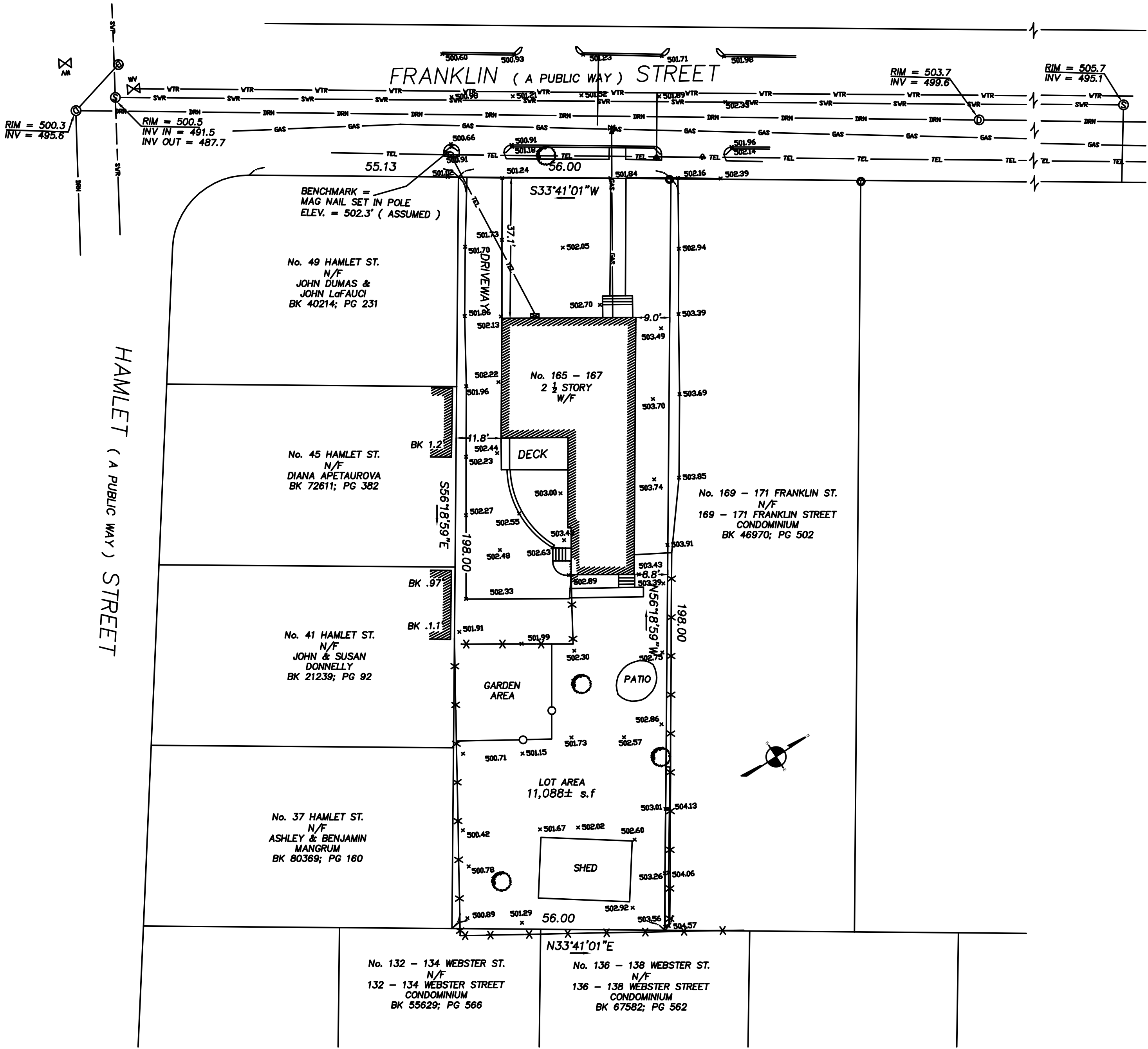
ZONING TABLE:	REQUIRED	EXISTING
DISTRICT:	R2	
LOT AREA:	6,000 s.f	11,088 s.f
LOT FRONTAGE:	60'	56'
FRONT SETBACK:	20'	37.1'
SIDE SETBACK:	10'	8.8'
REAR SETBACK:	20'	93.5'
LOT COVERAGE:	35%	19%
OPEN SPACE:	30%	35.9%
LANDSCAPE:	10%	10%
MAX. HEIGHT:	35'	30.1'
MAX. STORIES:	2.5	2.5

SITE PLAN OF LAND
LOCATED AT
165 - 167 FRANKLIN STREET
ARLINGTON, MA

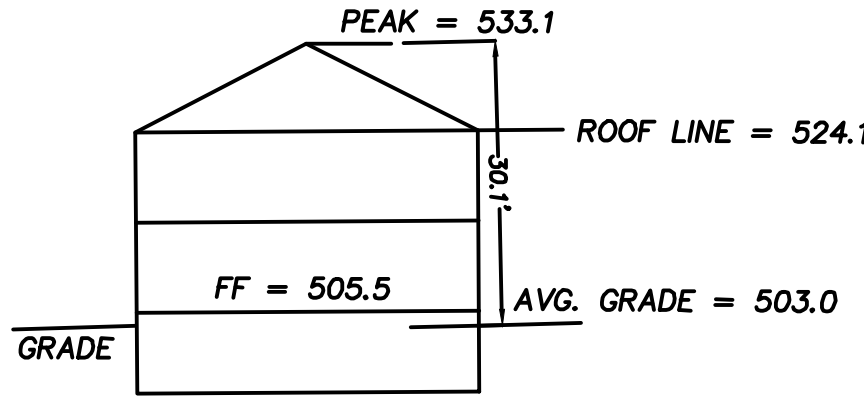
DATE: JULY 23, 2023 SCALE: 1.0 INCH = 20.0 FEET



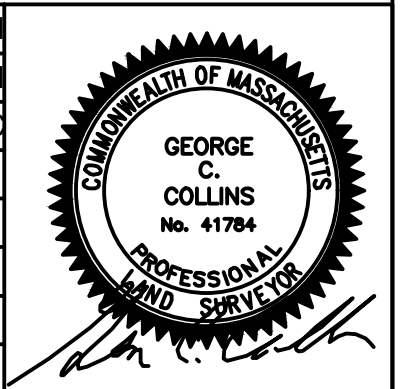
GEORGE C. COLLINS, P.L.S.
UNIT C-4 SHIPWAY PLACE
CHARLESTOWN, MA 02129
(617) 242-1313



HEIGHT SKETCH:
NOT TO SCALE



FIELD:	JJH
DRAFT:	JJH
CHECK:	GCC
DATE:	07/23/23



165 FRANKLIN STREET
ARLINGTON, MA

Project Title:

PROPOSED RENOVATIONS:
SITE DIAGRAM & ZONING
INFORMATION

Drawing Title:

Project #

22028

Drawn By:

Reviewed By:

EE

JFR

Scale:

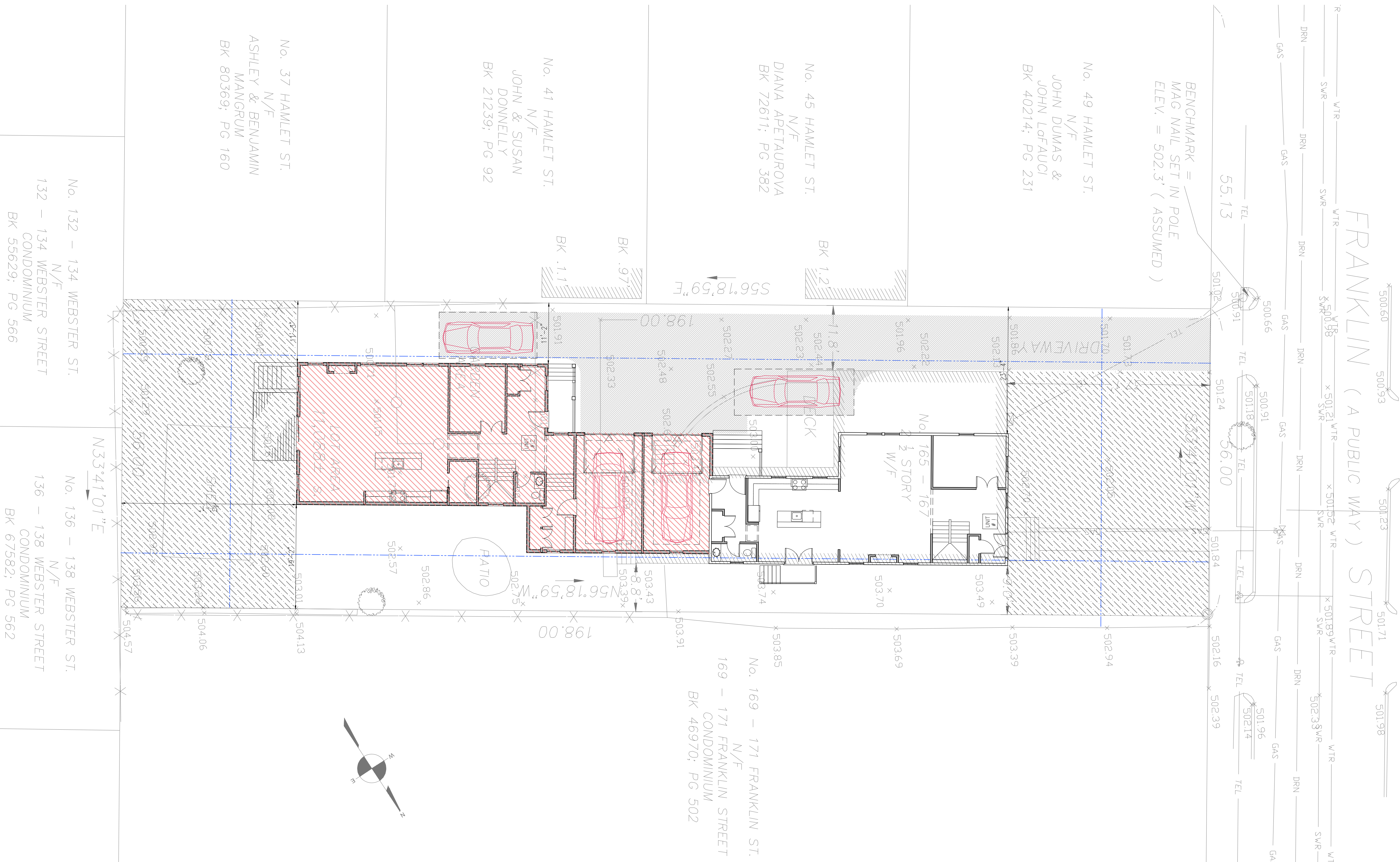
Date:

1" = 10'

9JAN24

Drawing #:

Z0.1



GROSS FLOOR AREA CALCULATIONS BY UNIT (GROSS SQ. FT.) - ZONING									
	EXIST. AREA (ASSESSORS)	MINUS AREA UNIT 1	MINUS AREA UNIT 2	ADDED AREA UNIT 1	ADDED AREA UNIT 2	TOTAL AREA UNIT 1	TOTAL AREA UNIT 2		ALLOWED HALF STORY (GREATER THAN FILL) TOTAL ADDITION
BASEMENT	1,159	0	0	0	1,196	1,159	1,196	2,355.0	
1ST FLOOR	1,661	510	0	0	1,339	1,151	1,339	2,490.0	
2ND FLOOR	1,183	0	0	0	1,188	1,183	1,188	2,371.0	1161.79
ATTIC (7" HGT.)	99	0	0	90.0	263.0	189.0	263.0	452.0	++++
TOTAL GROSS FLOOR AREA	4102	510	0	90.0	3,986.0	3,682.0	3,986.0	7,668.0	3566.0
GARAGE (ACCESSORY PARKING)						273	275		
TOTAL GROSS AREA						3955.0	4261.0	8,216.0	

BUILDING HEIGHT CALCULATION:
SITE SLOPE: >5%
SITE HIGHEST GRADE 503.91'
SITE LOWEST GRADE 500.71'
503.91' - 500.71' = 3.20' / LOT DEPTH 198' = 0.016

0.016% > 1.6% SLOPE

AVERAGE FINISHED GRADE OF SITE @
6' FROM BUILDING (GRADE PLANE): (NOT USED)
503.74' + 500.42' = 1,004.16' / 2 = 502.8'

AVERAGE GRADE = 503.0' (503.0' PER SURVEY)

AVERAGE GRADE @ CURB :
502.14' + 500.91' = 1,003.05' / 2 = 501.525'

ELEVATION OF EXISTING RIDGE = 533.1' (PER SURVEY)

HEIGHT OF EXISTING RIDGE CALCULATED
533.1' - 501.435' = 31.67'

PROPOSED RIDGE
501.435' + 534.33' = 32.895'

32.9' < 35' MAX. ALLOWED

USEABLE OPEN SPACE CALCULATION:
REQUIRED USEABLE, OPEN SPACE
7,668 GSF x 0.30 = 2,300 SF
PROPOSED USEABLE OPEN SPACE: 3,468F
2,300 SF REQUIRED < 3,468 SF PROPOSED

HALF-STORY CALCULATION:
PROPOSED GROSS AREA 2ND FLOOR
2,567 X 49 = 1,257 GSF
TOTAL ALLOWED > 7' = 1,257 GSF
452 GSF PROPOSED < 1,257 GSF ALLOWED

LARGE ADDITION CALCULATION: §5.4.2.B.6
DEMO = 510 GSF
PROPOSED = 4,076 GSF
TOTAL ADDITON 3,566 GSF

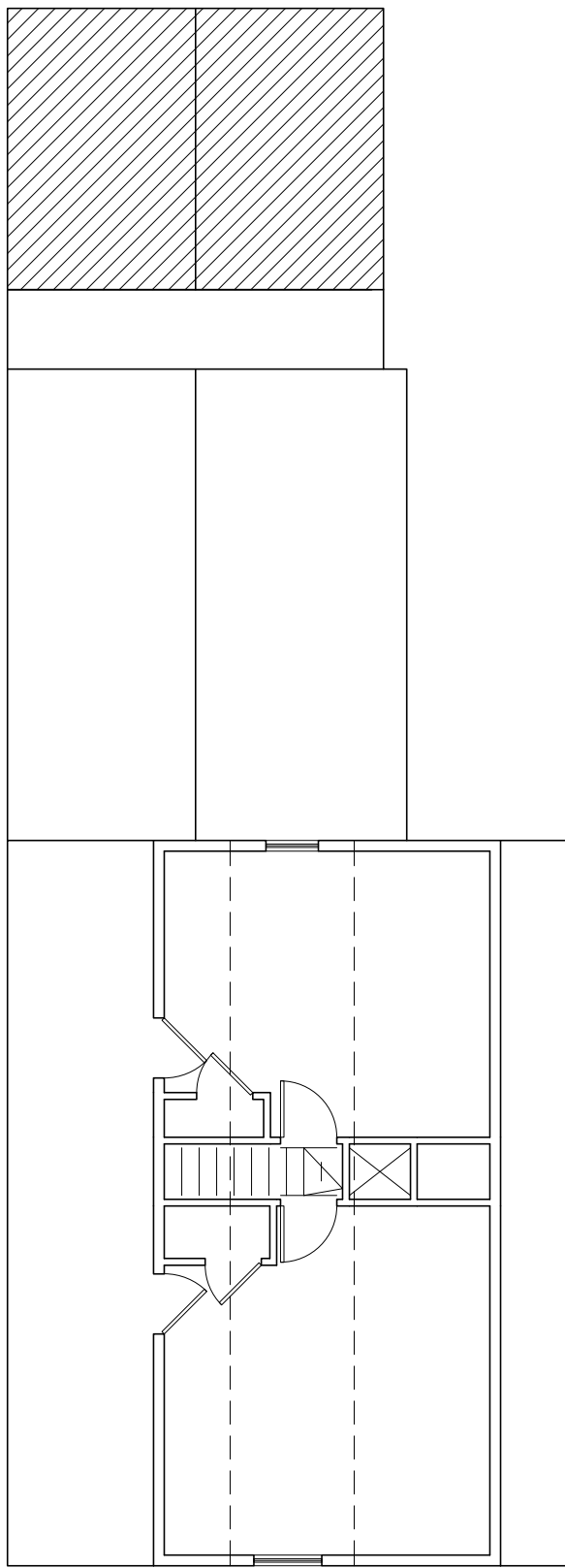
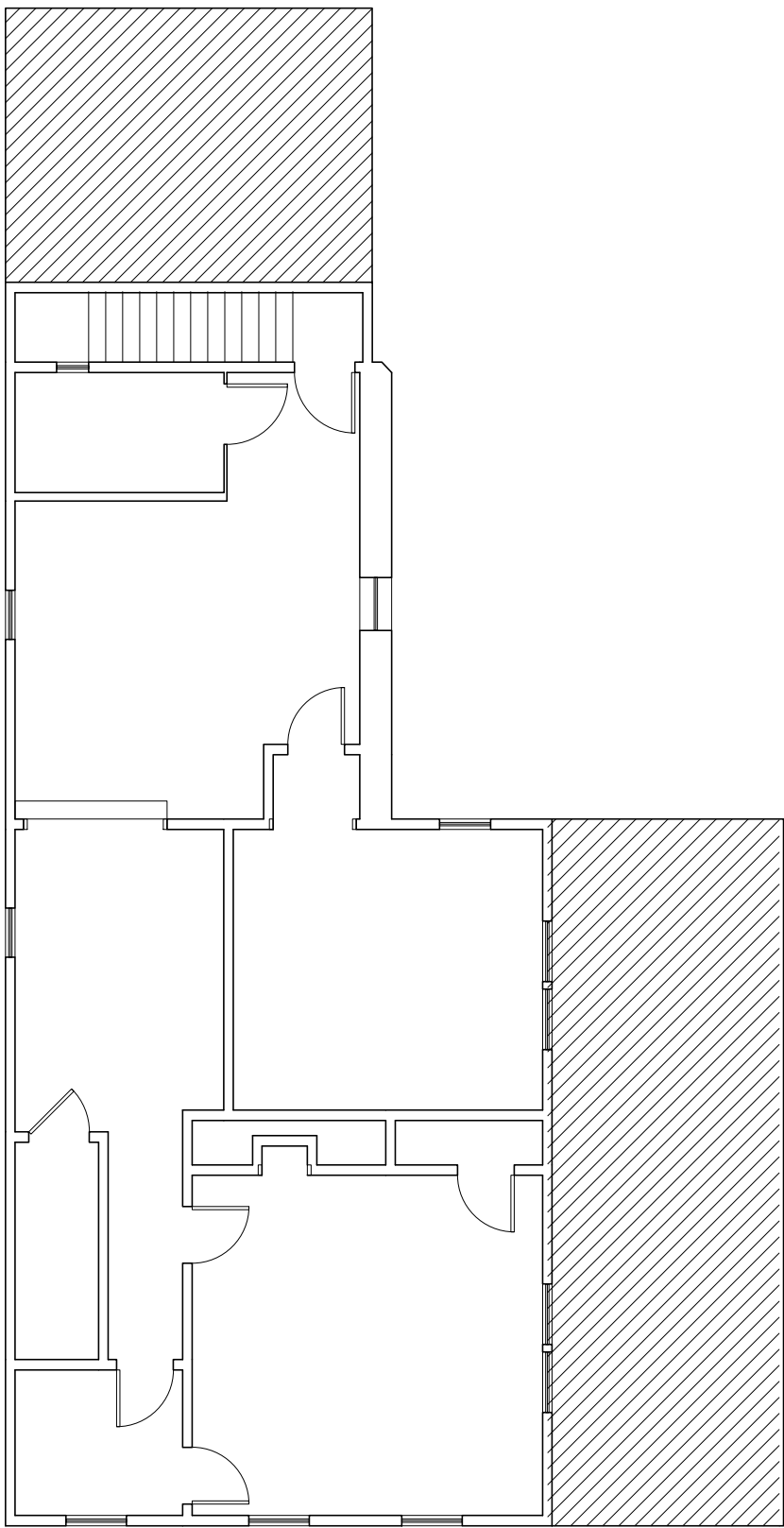
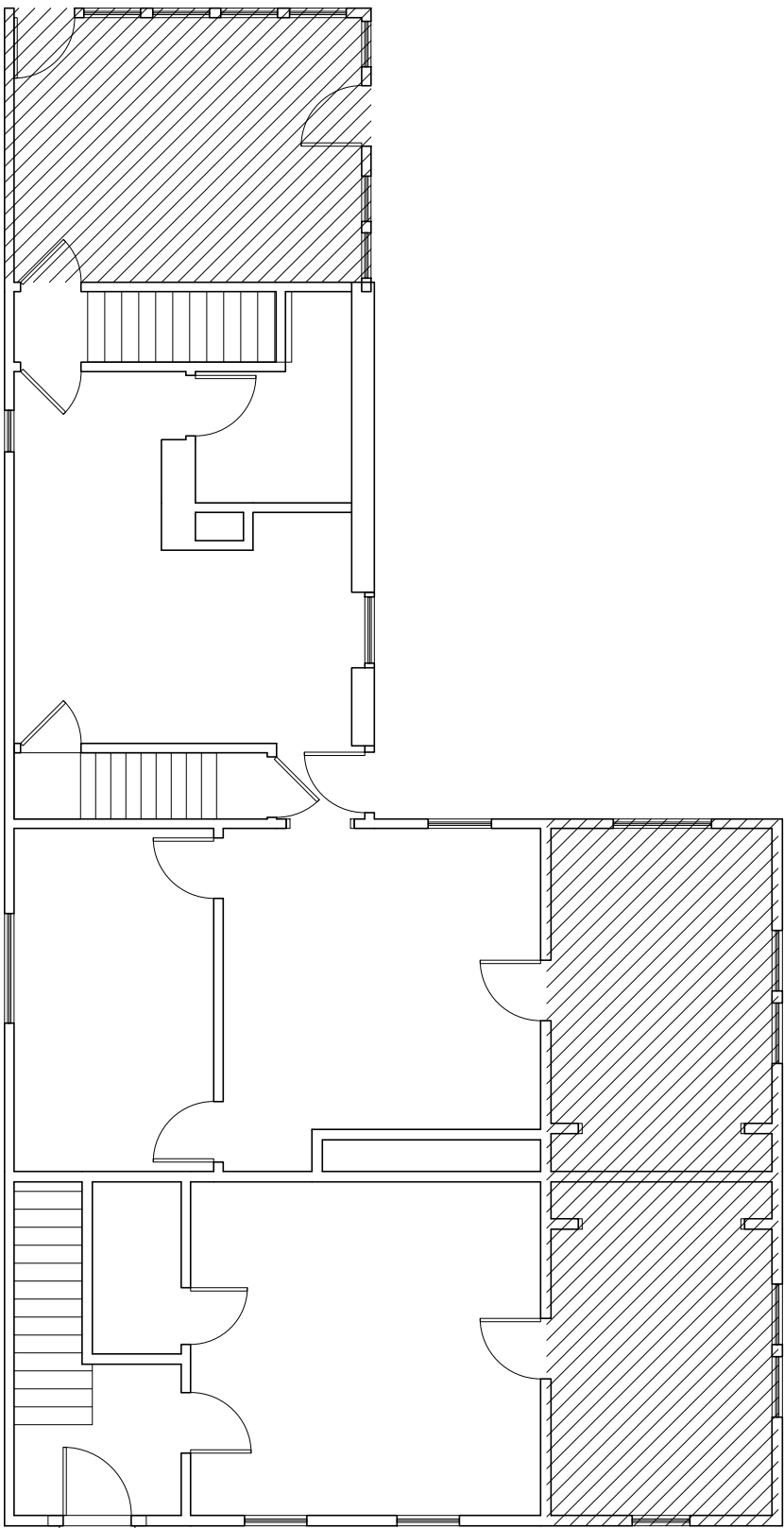
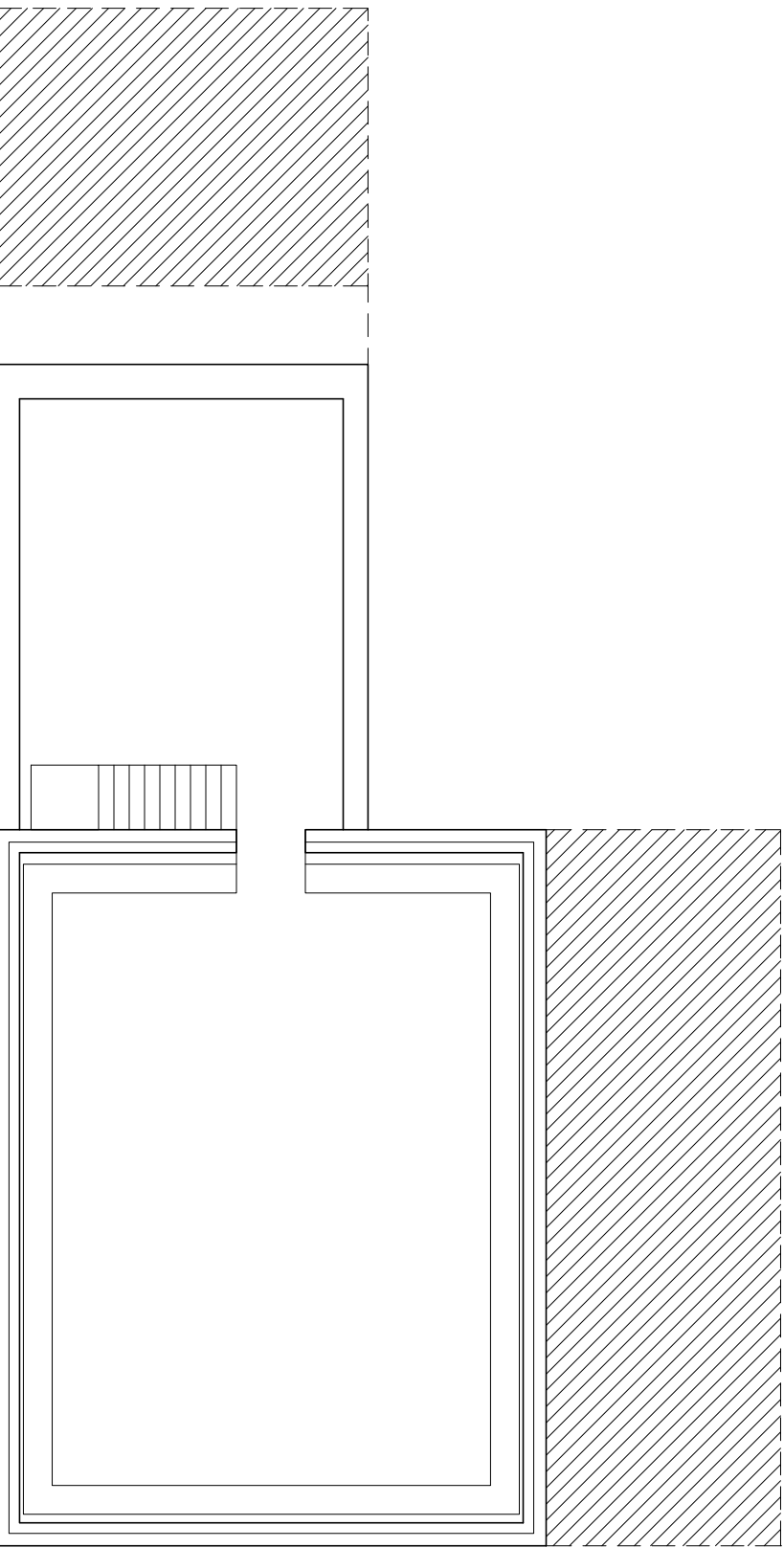
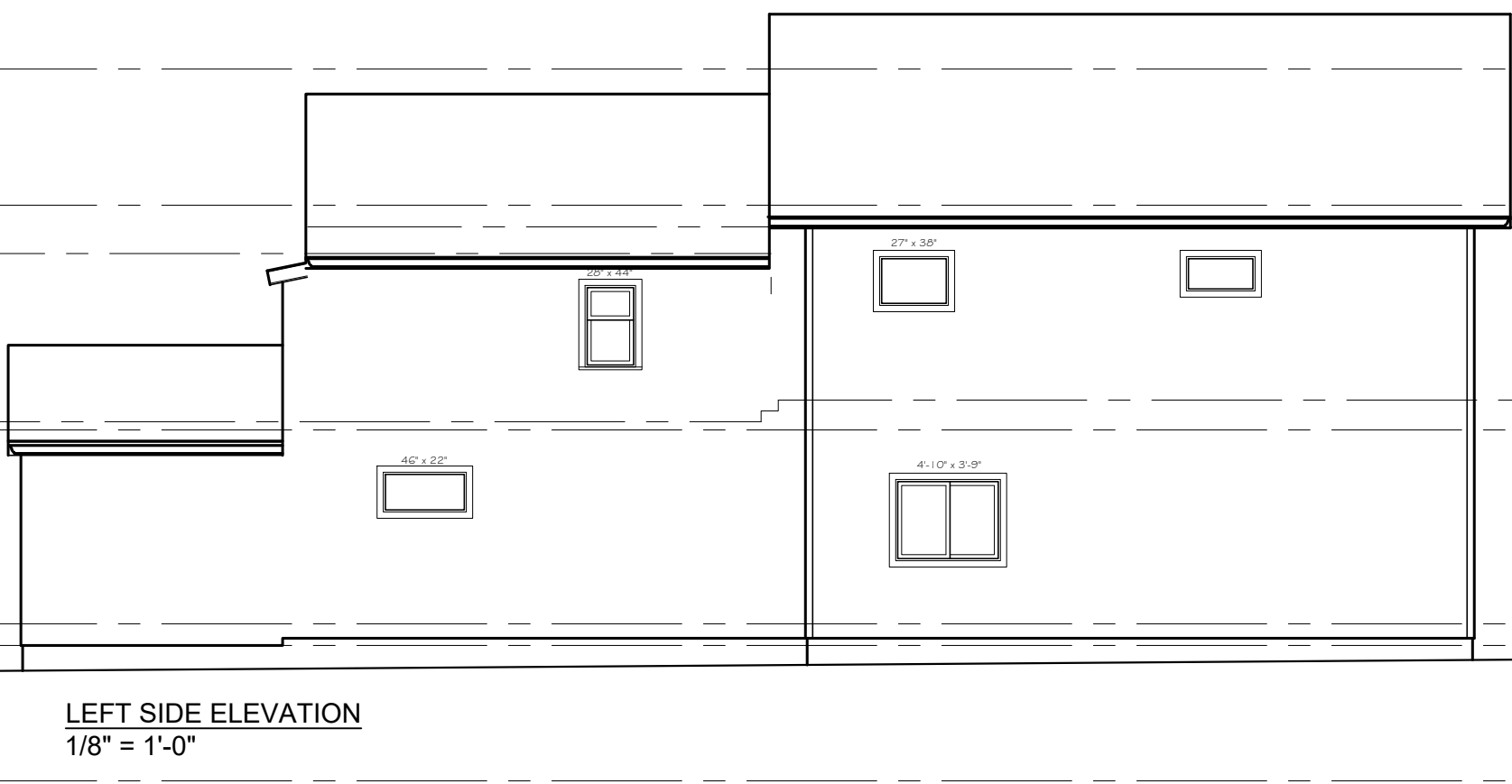
ZONING DATA PER §6.00 - TABLE OF DIMENSIONAL AND DENSITY REGULATIONS: ARLINGTON, MA				
ZONING DISTRICT - R2	ALLOWED/ REQUIRED	EXISTING	PROPOSED	COMPLIANCE
A MINIMUM LOT SIZE (S.F.)	6,000	±11,088	NO CHANGE	CONFORMS
B MIN. FRONTAGE (FT)	60	56	NO CHANGE	EXISTING NON-CONF.
C FLOOR AREA RATIO MAX. (FAR)	NA	--	--	NA
D LOT COVERAGE MAX. (%) (PROPOSED 3,021 SF / 11,088 SF = 27.2)	35	19	27.2	CONFORMS
E MINIMUM LOT AREA PER DWELLING UNIT (S.F.)	NA	--	--	NA
F MIN. FRONT YARD (FT)	20	37.1	NO CHANGE	CONFORMS
G MIN. SIDE YARD - RIGHT	10	11.8	11.2	CONFORMS
MIN. SIDE YARD - LEFT	10	8.8	NO CHANGE	EXISTING NON-CONF. (EXISTING STRUCTURE ONLY)
H MIN. REAR YARD (FT)	20	94.5	32.2	CONFORMS
I MAX. HEIGHT (STORIES / FT)	2 1/2 / 35	2 1/2 / 32.25	2 1/2 / 32.88	CONFORMS
J OPEN SPACE: MIN. LANDSCAPED AREA (%) (PROPOSED 6,192 SF / 7,668 GSF = 80.75)	10	250	80	CONFORMS
K OPEN SPACE: MIN. USABLE AREA (%) (PROPOSED 3,468 SF / 7,668 GSF = 45.2)	30	201	45	CONFORMS
§6.1 4 MIN. NO. OF PARKING SPACES	2	4	4	CONFORMS

A

B

C

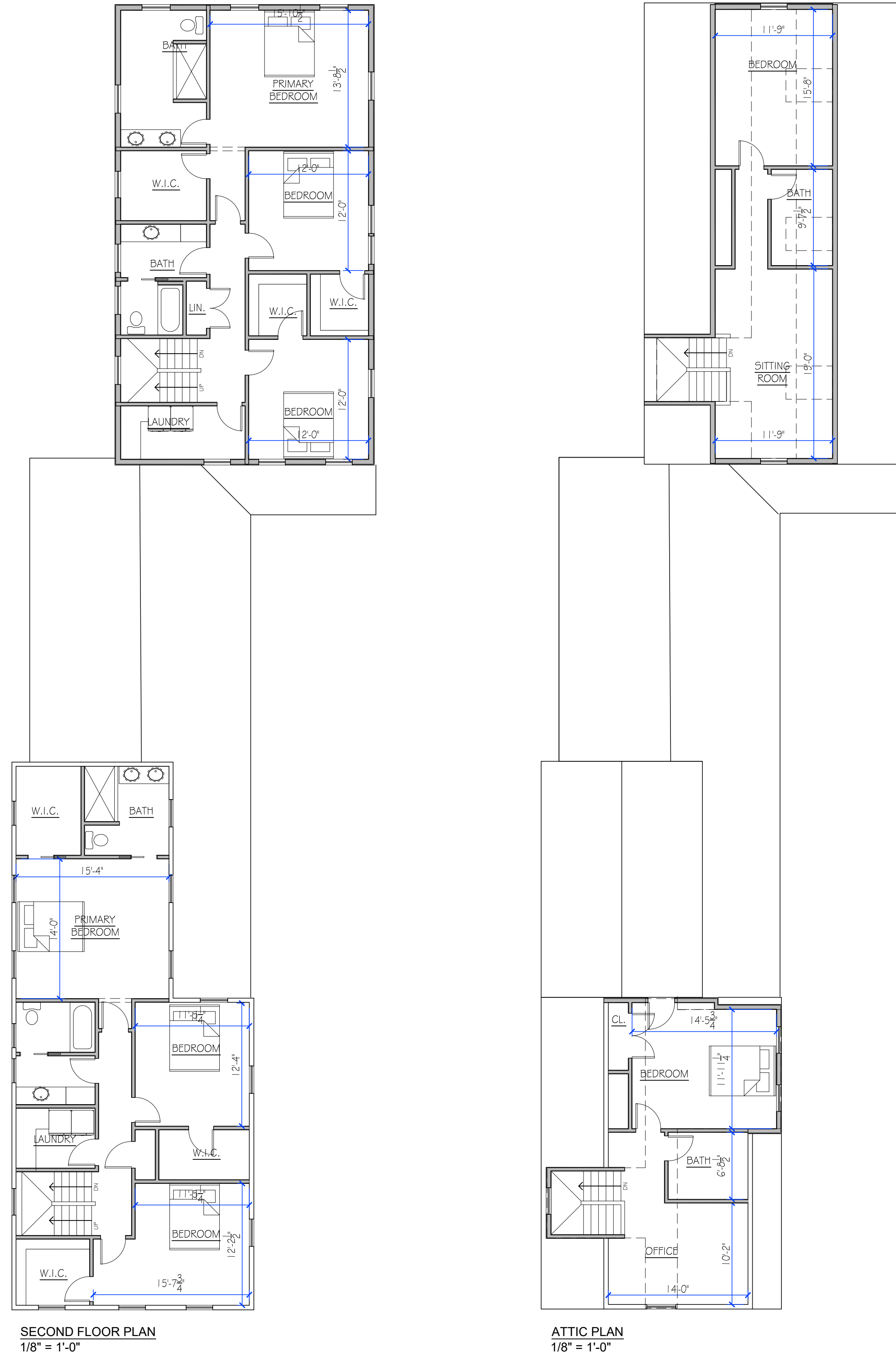
D



Drawing Title:

**PROPOSED RENOVATIONS:
PLANS**

Project #		22028	
Drawn By: EE		Reviewed By: JFR	
Scale: 1/8" = 1'-0"		Date: 9JAN24	
Drawing #:			
SD1.1			





EXISTING FRONT ELEVATION
1/8" = 1'-0"



PROPOSED FRONT ELEVATION
1/8" = 1'-0"



EXISTING REAR ELEVATION
1/8" = 1'-0"



PROPOSED REAR ELEVATION
1/8" = 1'-0"



EXISTING RIGHT SIDE ELEVATION
1/8" = 1'-0"

PROPOSED RIGHT SIDE ELEVATION
1/8" = 1'-0"



EXISTING LEFT SIDE ELEVATION
1/8 = 1'-0"

PROPOSED LEFT SIDE ELEVATION
1/8" = 1'-0"

A

B

C

D



PROPOSED FRONT ELEVATION
1/4" = 1'-0"



PROPOSED RIGHT SIDE ELEVATION
3/16" = 1'-0"

165 FRANKLIN STREET
ARLINGTON, MA

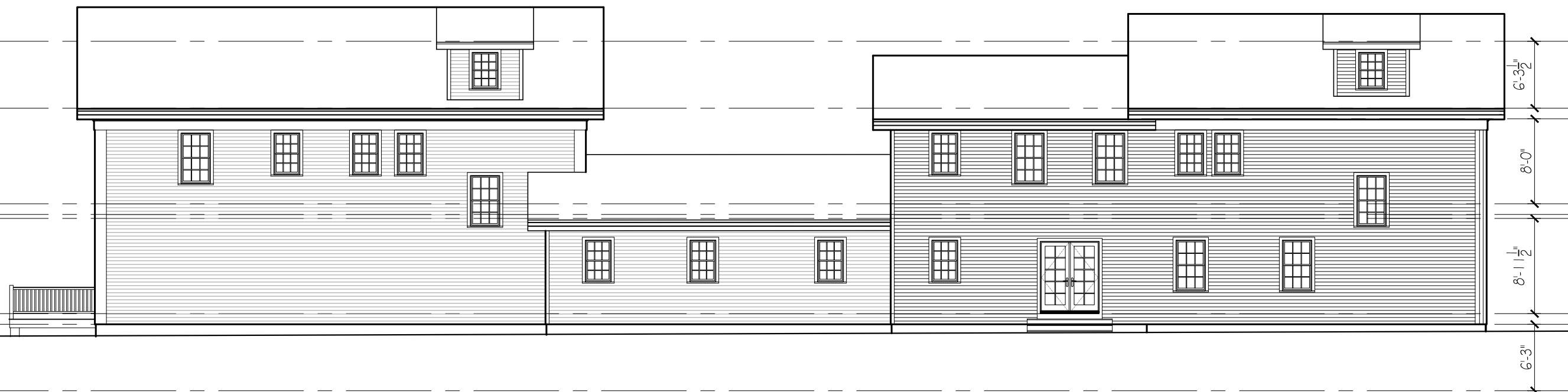
PROPOSED RENOVATIONS:
EXTERIOR ELEVATIONS

Project # 22028	
Drawn By: EE	Reviewed By: JFR
Scale: 1/8" = 1'-0"	Date: 9JAN24

Drawing #:
SD2.1



REAR ELEVATION
3/32 = 1'-0"



LEFT SIDE ELEVATION
3/32 = 1'-0"

Project Title:

165 Franklin Street
Arlington, MA

Drawing Title:

SCHEMATIC DESIGN: EXTERIOR ELEVATIONS

Revisions:

[illegible]

Project #

23057

Scale:

$$3/32" = 1'-0"$$

Date:

3OCT23

REV 2JAN24

Drawing #

SD2.2

D

B Mangrum <benjamin.mangrum@gmail.com>

To:ZBA

Mon 2/12/2024 9:33 PM

Hello,

I am writing to express opposition to the petition for a special permit to alter the property located at 165 Franklin Street. My name is Ben Mangrum, and I live at 37 Hamlet Street, which abuts the property in question.

Please forgive the length of this email, but I believe there are several reasons that the Zoning Board of Appeals should not grant the developer's petition. I outline these reasons as follows:

1. I am aware that bylaw 5.4.2.B.6 states that no alteration above 750 square feet or 50% or more of the building's gross floor area should be permitted unless the alteration is (a) within the existing foundation, or (b) the alteration is in harmony with other structures and uses in the vicinity. The developer's plan obviously does not stay within the existing foundation. Therefore, the only allowable justification for such a large addition would be if the large addition were harmonious with other properties in the area. As a resident in an abutting property, I can attest that the proposed addition would not be harmonious with my property or my neighbors' homes. There is no home in the vicinity that resembles the proposed alteration in size (gross floor area), look, or layout across the property line.
2. The developer's petition claims "the use remains a 2 family residence" and the "character of the structure will be similar to that of detached single family structures in the vicinity." This explanation contradicts the rationale for a large addition while also being misleading in its characterization of the structures in the vicinity.
 1. If the existing structure is already divided into a two-family home, why does the neighborhood need a large addition to allow for a second family to live on the property? Two families can already live at 165-167 Franklin Street in the current size and structure of the property. The only reason for the large addition is the developer's profit, and the Town Bylaws do not allow for profit as an adequate justification for a large addition.
 2. The developer's justification is also misleading because the large addition would not be continuous with prior use. In the "Dimensional and Parking Information" of the developer's petition (p.63 of the Agenda Meeting document), the developer implies that there were 2 dwelling units and the large addition would be consistent with this prior use. However, the previous owner only had one structure divided into a two-family dwelling, so the implication that the large addition is consistent with the prior land use is misleading. This is a second structure for dwelling; no other nearby properties include a second structure of this kind. I plead with the Zoning Board to notice the developer's misleading representation of the addition.
3. Perhaps there is a technicality in which the proposed addition stays within the letter of the bylaws in terms of being a single continuous structure. I am not a lawyer, so I cannot speak to the letter of the law. However, the proposed addition obviously breaks with the *spirit* of the bylaws. Having a second dwelling structure connected by only a garage would be a total rupture from the kinds of structures in the neighborhood. I cannot believe that either the Town as a people or the Bylaws as the expression of our local government envisioned such a proposed alteration as a permissible land use, much less as a justification for a large addition.
4. The proposed addition would also be an aesthetic eye sore. It would mar the historic character of the surrounding homes.
5. I moved to 37 Hamlet Street in July 2022. I moved into my new home with the expectation that my backyard would overlook my neighbor's backyard, as was the case with the previous owner. I have attached pictures that show the current view from my backyard. The developer's plan would ruin this view by erecting a 2 or 2.5 story structure. The negative consequences of this large addition for my property include:

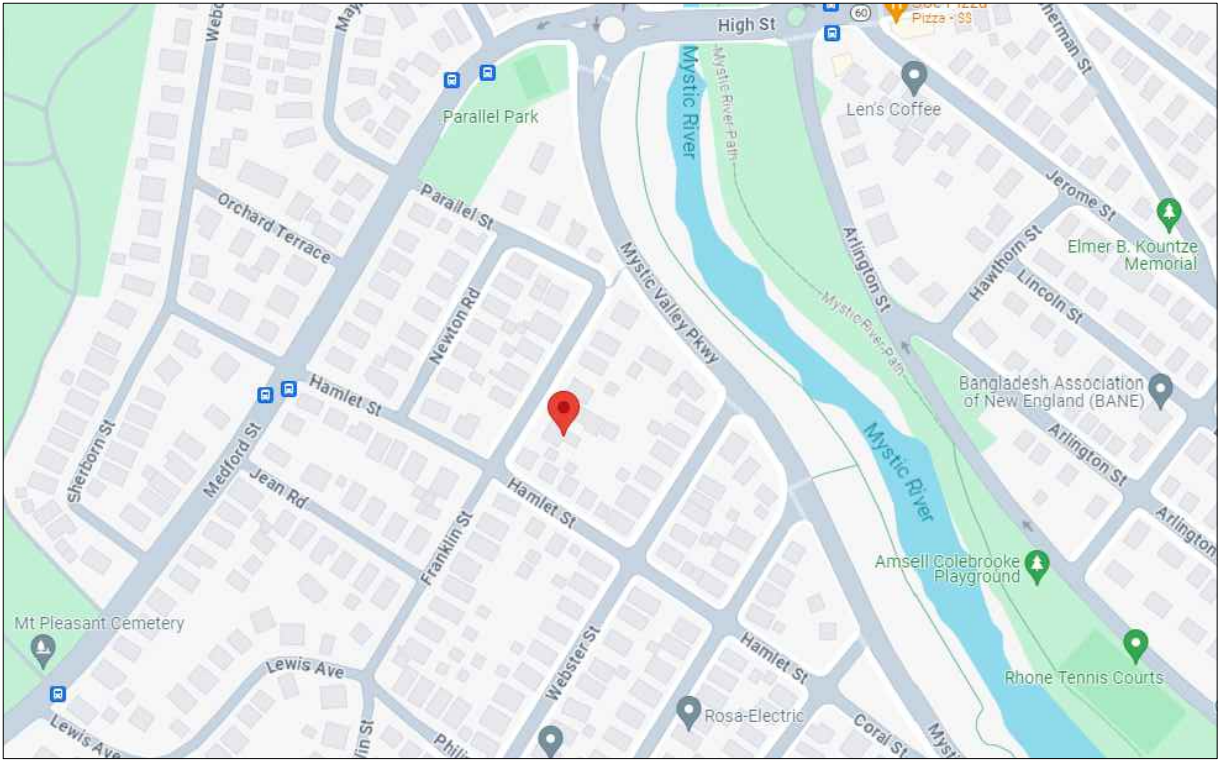
1. My children would be visible from the windows of this second dwelling structure as they play in my yard.
2. I would not be able to see sky and trees as I currently do.
3. Rather than seeing sky and trees, I would look from my window to see a 2 or 2.5-story dwelling that I had no reason to expect the town would allow to be built when I purchased my home a year and a half ago. Permitting this large addition would fundamentally change the way I experience my new home.
6. I also worry that the large addition would create noise, light, and other nuisances that would change the character of the neighborhood. How will the proposed large addition provide light to its driveway and front yard? The light would by necessity shine into the backyards and windows of the abutting properties, particularly those on Hamlet Street. Having a second family live in the backside of the lot at 165 Franklin St would be completely incongruous with the neighborhood and create new, unnecessary conflicts between neighbors. Again, this conflict would mar the character of the neighborhood, but it would inevitable because of the design of the proposed large addition.
7. Currently, the driveway at 165 Franklin does not extend to my back fence. Allowing the developer to extend the driveway and build a large addition would create noise, carlights, and other disturbances that would betray the land use I had good reason to expect when purchasing the home in 2022. How would the residents of the second home get to their front doors on the backside of the property? They would need to use an extended driveway that would be adjacent to my backyard. If approved, the petition would mean that my backyard would be beset by lights, noise, car traffic, and I would also suffer a substantial loss of privacy.
8. Although the lot is long and narrow, this shape does not mean that square footage of living space should run the length of that property. Property shape is not in itself a license to build. Just as a profit-motive is not listed in the Bylaws as an adequate justification for a large addition, it is also the case that “because there’s space” is not an adequate justification. Allowing the large addition would only benefit the corporate developer, who doesn’t live in the neighborhood.
9. The large addition does not address the need for more housing in Arlington. Because the current structure at 165 Franklin Street already allows for two families, extending the habitable structure (i.e. square feet of living space) by more than double would not allow for *more families* to move to Arlington. It would only allow the developer to make more profit off the sale of the property.
10. The large addition would not bring more affordable housing to Arlington. In fact, the large square footage created would be more *unaffordable* for families of modest income. Preserving the historic character of the current structure on the property is more likely to provide an affordable home for two families.
11. Finally, I would like to reject the implication in the developer’s petition that this large addition might benefit the abutting properties. How? It will not increase our property values, because the resale of our homes will be marred by the view of a 2 or 2.5 story second structure from our backyard. Again, the proposed large addition only benefits the developer, who does not have the right (according to Town Bylaws) to make such a large addition unless it is harmonious with the vicinity. And as I have shown in the points above, the large addition is not harmonious with the neighborhood.

Thank you for considering these points. Kind regards,

Ben Mangrum







PROJECT LOCATION:
165 FRANKLIN ST.
ARLINGTON, MA
ZONING DISTRICT R2- TWO- FAMILY

STRUCTURAL NOTES: ARLINGTON, MA LOADS, PER 780 CMR:
LIVE LOADS 30lb.s/SF (BEDROOMS)
40lb.s/SF (OTHER ROOMS)
GROUND SNOW LOAD 40lb.s/SF
WIND LOAD 127MPH

LIST OF DRAWINGS	
	PERMIT SET
ISSUED	MAR. 6, 2024
COVER	●
Z0.1 ZONING INFORMATION	●
Z0.2 ZONING INFORMATION	●
SURVEY	●
EX1.1 EXISTING CONDITIONS: PLANS	●
EX1.2 EXISTING CONDITIONS: PLANS	●
EX2.1 EXISTING CONDITIONS: ELEVATIONS	●
A1.1 PROPOSED PLANS	●
A1.2 PROPOSED PLANS	●
A1.3 PROPOSED PLANS	●
A1.4 PROPOSED PLANS	●
A1.5 PROPOSED PLANS	●
A1.6 PROPOSED PLANS	●
A2.1 PROPOSED ELEVATIONS	●
A3.1 PROPOSED BUILDING DETAILS	●

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT: 780 CMR (2021 IECC)

Building Envelope- Climate Zone 5 Group R	R402.1.3
Roofs	
Attic and other	R-60
Walls, Above Grade	
Wood framed & other	R-20+5
Walls, Below Grade	
Crawlspace Walls	R-15/19
Basement Walls	R-15/19
Floors	
Joist/Framing	R-30
Slab Floors	
Unheated slabs	R-10 for 48 in.
Glazed Fenestration	
Fenestration U- Factor	U-0.30
Skylights	U-0.55
Glazed	U-0.40

L.R. Designs

DESIGNERS, ARCHITECTS, DEVELOPERS, ADVISORS

165 FRANKLIN STREET
SUITE 5
ARLINGTON, MA 02153
978.268.2119
LRDESIGNS.COM

Project Title:

165 Franklin Street
Arlington, MA

Drawing Title:

PROJECT INFORMATION

Revisions:

#	Description	date

Project #

23057

Scale:

1/8" = 1'-0"

Date:

07MAR24

Drawing #

COVER

WEBSTER STREET

HAMLET STREET

FRANKLIN STREET

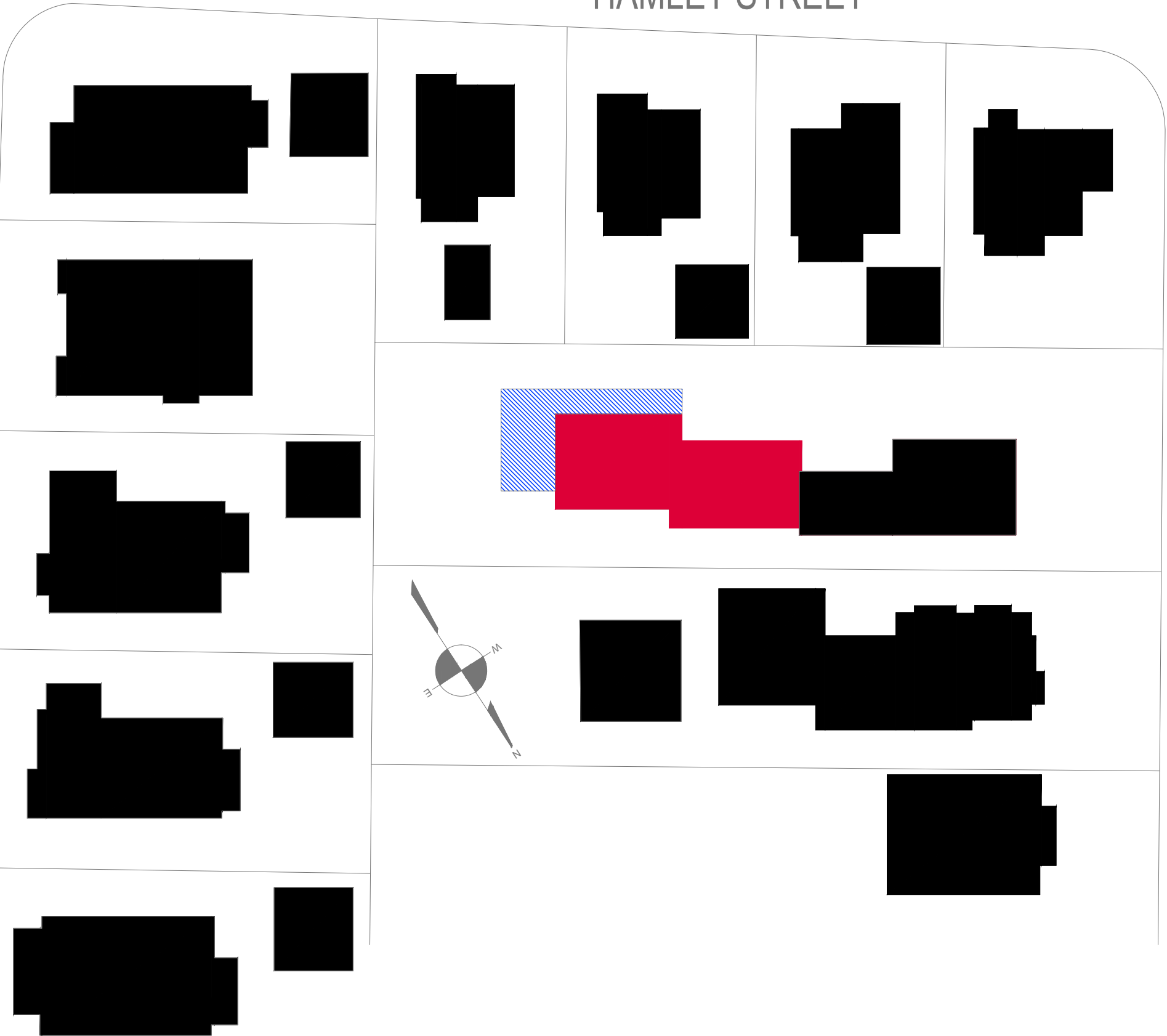


FIGURE GROUND DIAGRAM
1"= 30'-0"

L.R. Designs

DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS

165 FRANKLIN STREET
SUITE 5
ARLINGTON, MA 02159
617.568.2119
LRDESIGNSONLINE.COM

Project Title:

165 Franklin Street
Arlington, MA

Drawing Title:

ZONING INFORMATION

Revisions:		
#	Description	date

Project #

23057

Scale:

1/8" = 1'-0"

Date:

07MAR24

Drawing #

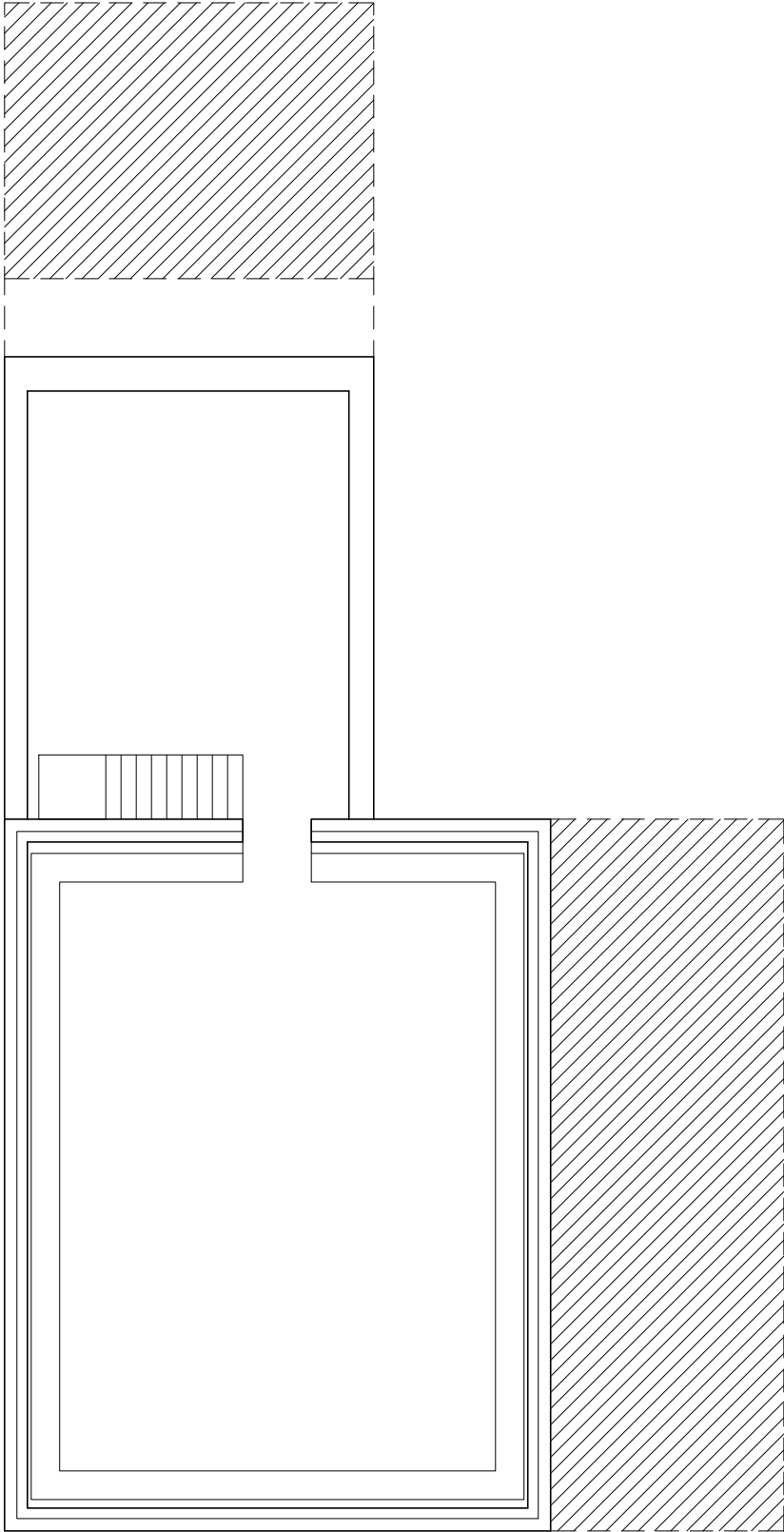
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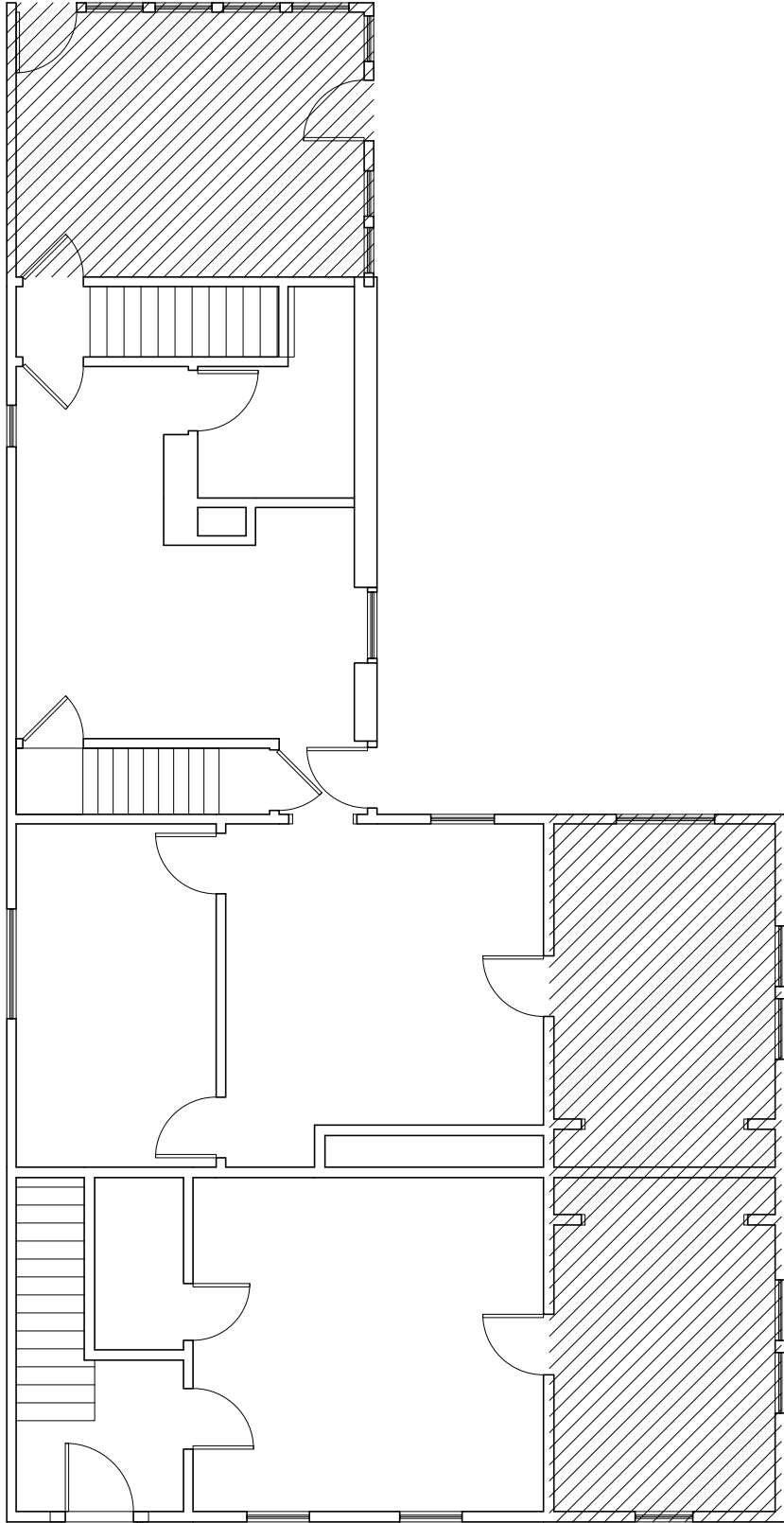
B

C

D



BASEMENT PLAN
1/8" = 1'-0"



FIRST FLOOR PLAN
1/8" = 1'-0"

LR Designs

DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS

165 FRANKLIN STREET

SUITE 5

ARLINGTON, MA 02159

617.568.2119

LRDESIGNSONLINE.COM

Project Title:

165 Franklin Street
Arlington, MA

Drawing Title:

EXISTING CONDITIONS:
FLOOR PLANS

Revisions:		
#	Description	date

Project # 23057

Scale: 1/8" = 1'-0"

Date: 07MAR24

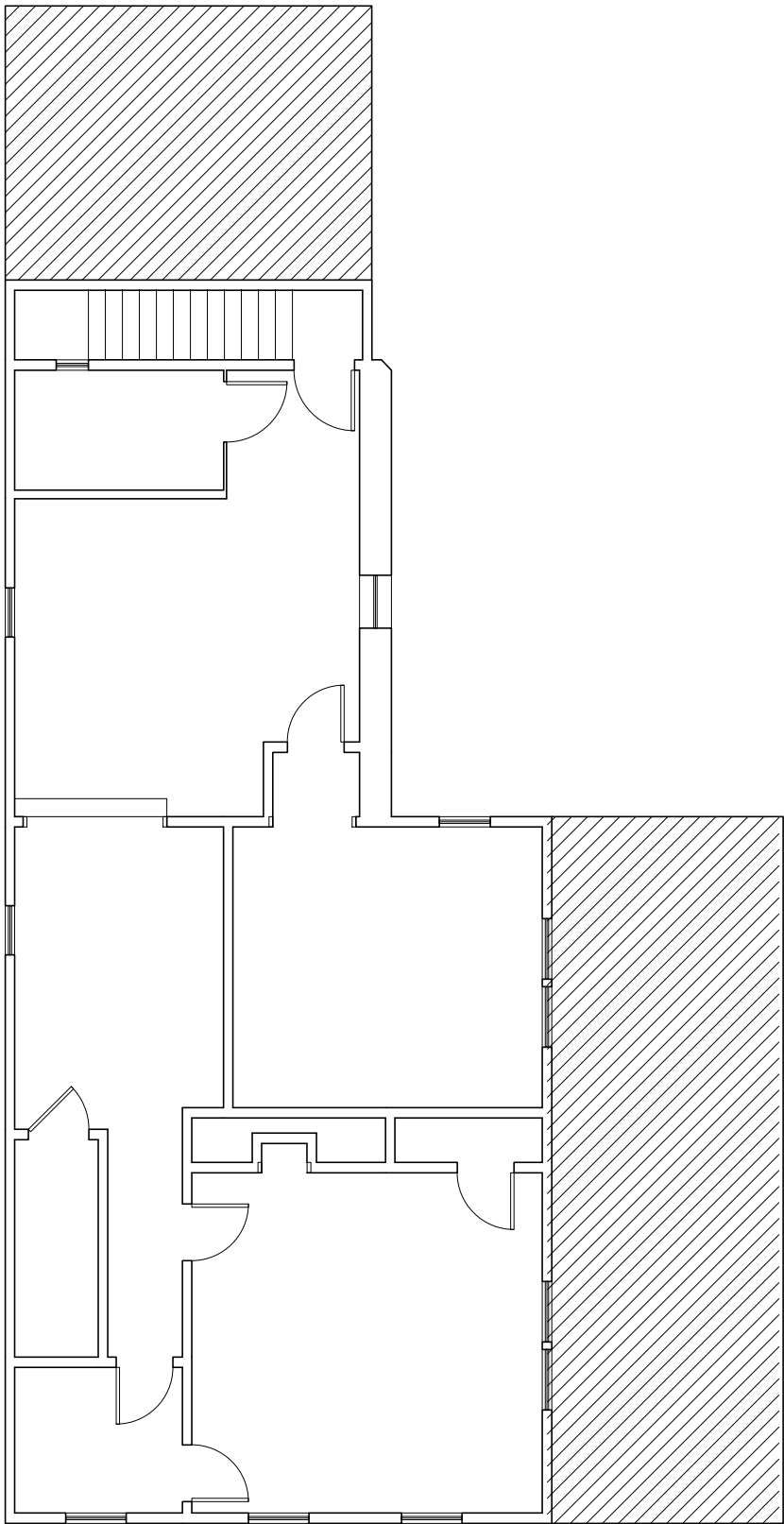
Drawing # EX1.1

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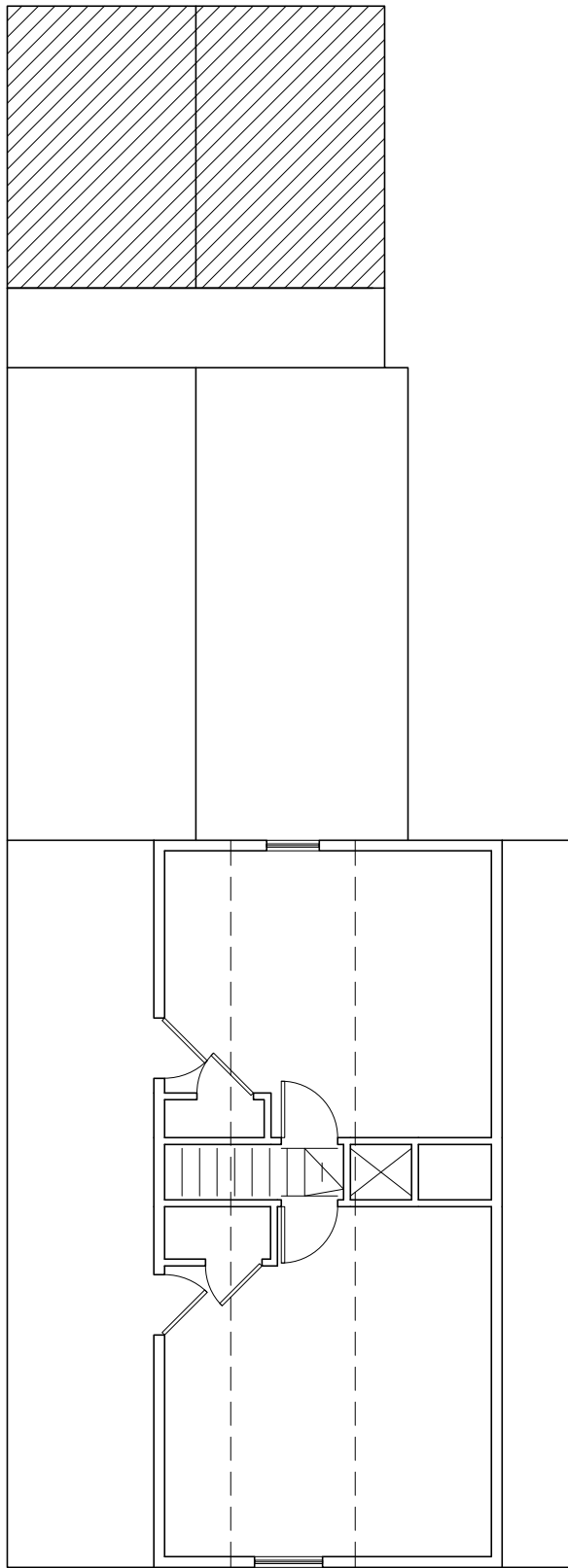
B

C

D



SECOND FLOOR PLAN
1/8" = 1'-0"



ATTIC PLAN
1/8" = 1'-0"

Revisions:		
#	Description	date

Project #
23057

Scale:
1/8" = 1'-0"

Date:
07MAR24

Drawing #
EX1.2



L.R. Designs
DESIGNERS, ARCHITECTS, DEVELOPERS, ADVISORS

165 Franklin Street
Arlington, MA

EXISTING CONDITIONS:
EXTERIOR ELEVATIONS

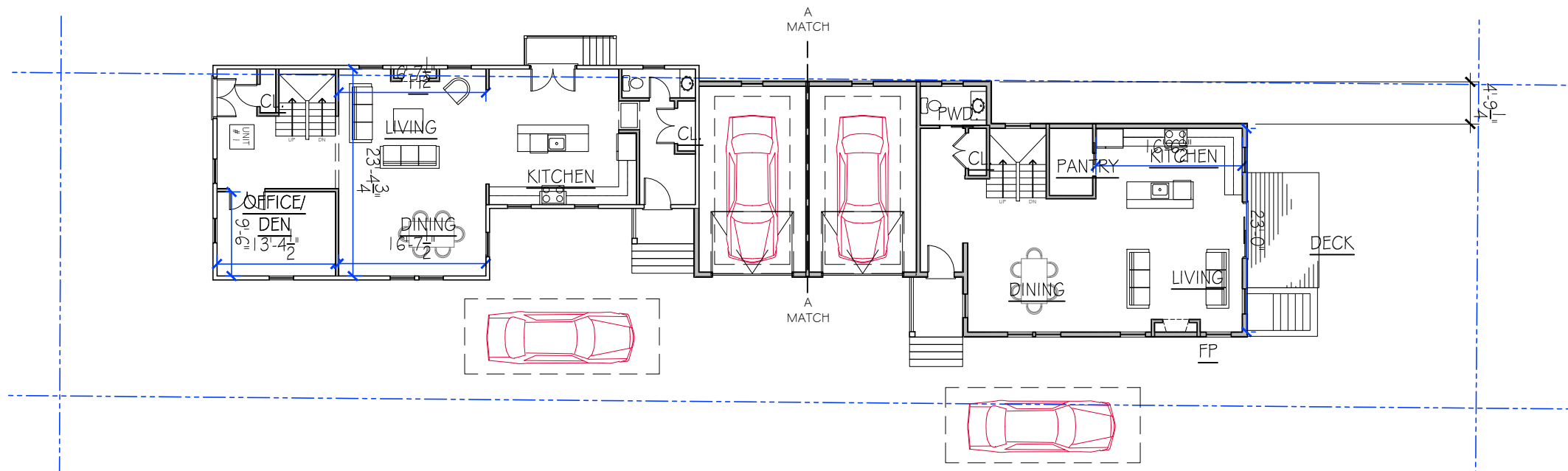
Revisions:		
#	Description	date

Project # 23057

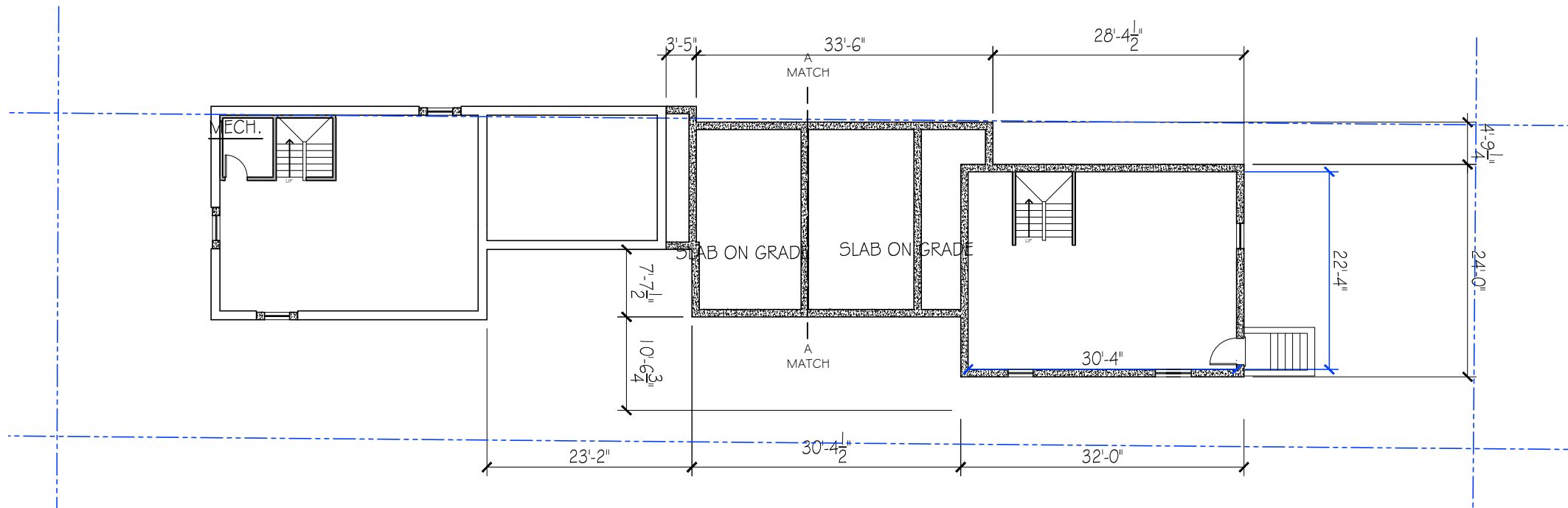
Scale: 1/8" = 1'-0"

Date: 07MAR24

Drawing # **EX2.1**



FIRST FLOOR PLAN
1/16" = 1'-0"



BASEMENT PLAN
1/16" = 1'-0"

Revisions:		
#	Description	date

Project # 23057

Scale: 1/8" = 1'-0"

Date: 07MAR24

Drawing # A1.1

A

B

C

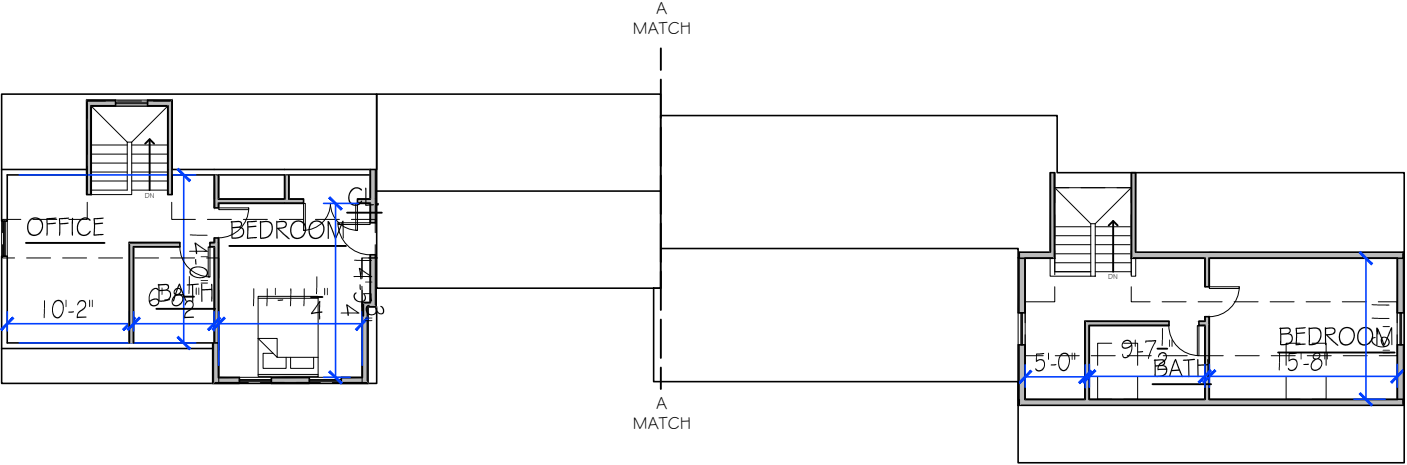
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2

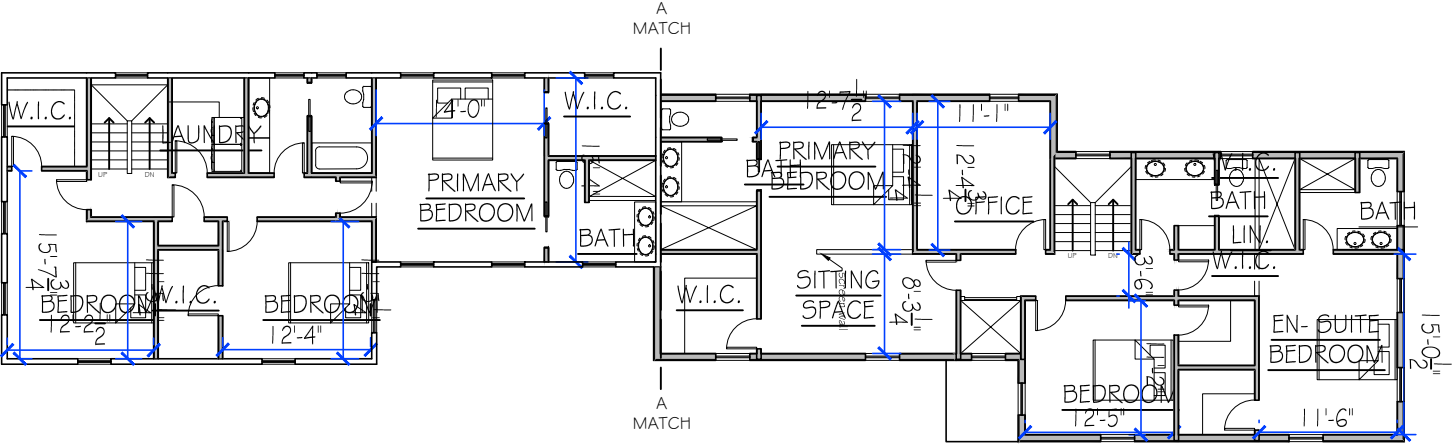
3

4

5



ATTIC PLAN
1/16" = 1'-0"



SECOND FLOOR PLAN
1/16" = 1'-0"

- LEGEND**
- 1 HOUR RATED ASSEMBLY
 - PROPOSED NEW WALL
 - 1 HOUR RATED EXTERIOR WALL BASED ON UL V340
 - SMOKE/CARBON MONOXIDE DETECTOR
 - SMOKE DETECTOR
 - HEAT DETECTOR

NOTE ON DIMENSIONS:
DIMENSIONS ARE FROM FACE OF NEW
FRAMING, UNLESS OTHERWISE NOTED.

Project Title:
**165 Franklin Street
Arlington, MA**

Drawing Title:
**PROPOSED RENOVATIONS:
FLOOR PLANS**

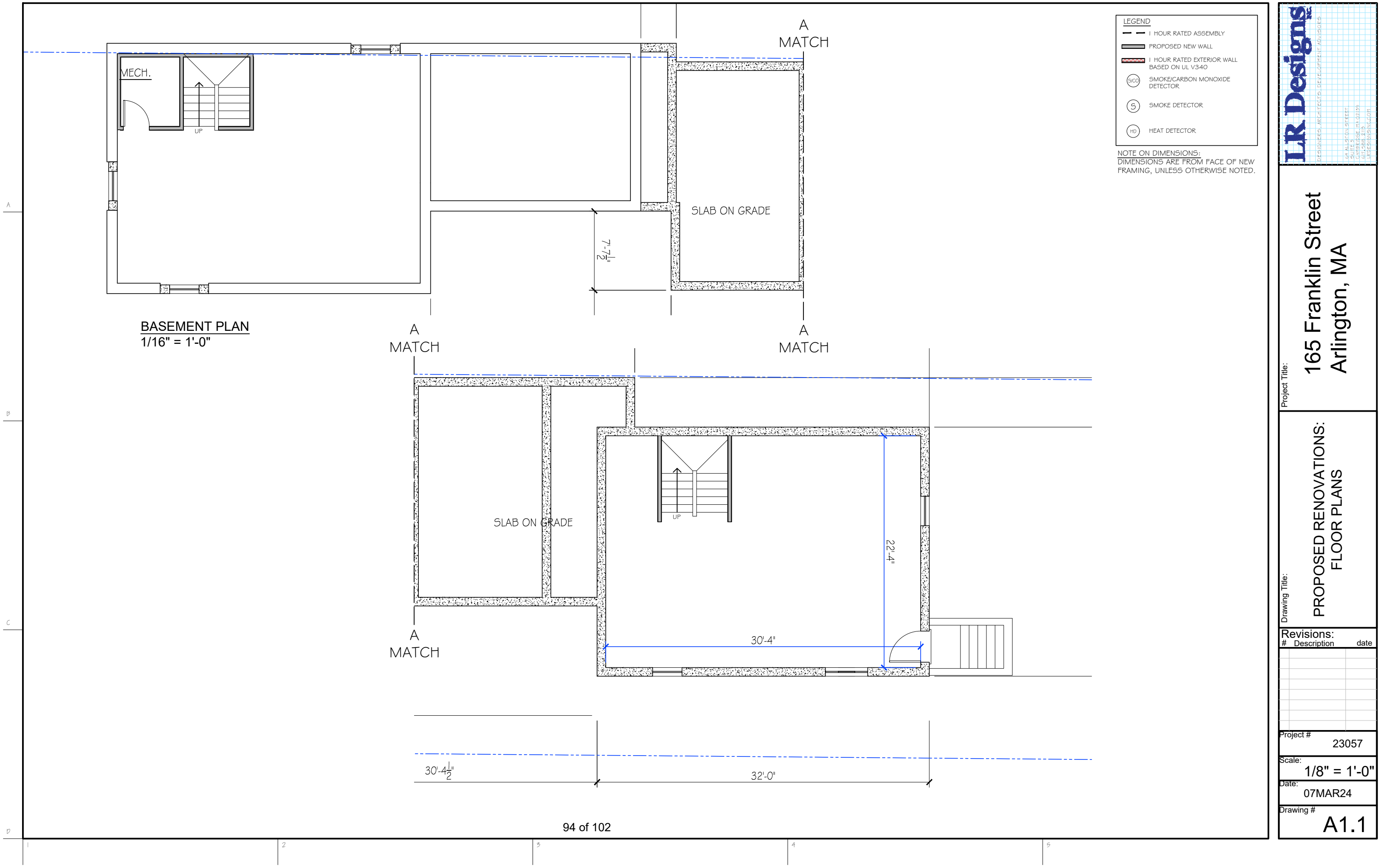
Revisions:		
#	Description	date

Project #
23057

Scale:
1/8" = 1'-0"

Date:
07MAR24

Drawing #
A1.2



DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS

165 FRANKLIN STREET
SUITE 5
ARLINGTON, MA 02159
617.568.2119
LRDESIGNSONLINE.COM

Project Title:

165 Franklin Street
Arlington, MA

Drawing Title:

PROPOSED RENOVATIONS:
FLOOR PLANS

Revisions:

#	Description	date

Project #

23057

Scale:

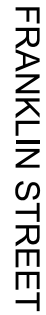
1/8" = 1'-0"

Date:

07MAR24

Drawing #

A1.1



95 of 102

CURRENT PROPOSED



FRONT ELEVATION
1/16" = 1'-0"



RIGHT SIDE ELEVATION
1/16" = 1'-0"


PREVIOUS PROPOSED



FRONT ELEVATION
1/16" = 1'-0"



RIGHT SIDE ELEVATION
1/16" = 1'-0"



DESIGNERS, ARCHITECTS, DEVELOPERS, ADVISORS

165 FRANKLIN STREET
SUITE 3
ARLINGTON, MA 02159
617.563.2119
LRDESIGNS@GMAIL.COM

Project Title:

165 Franklin Street
Arlington, MA

Drawing Title:

PROPOSED RENOVATIONS:
EXTERIOR ELEVATIONS

Revisions:

#	Description	date

Project #

23057

Scale:

1/16" = 1'-0"

Date:

07MAR24

Drawing #

A2.1

A

B

C

D

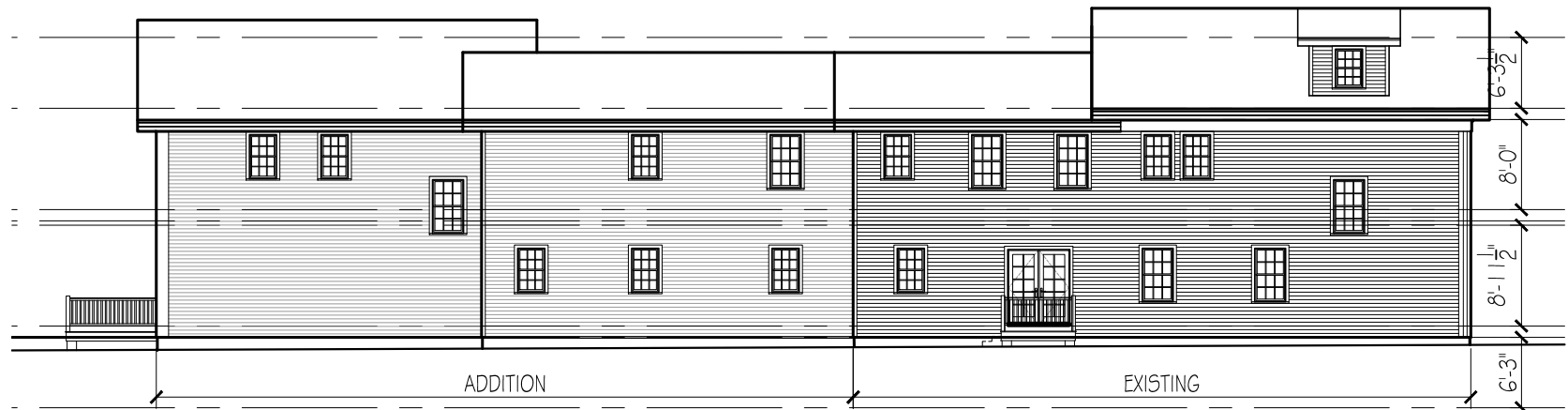
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3

4

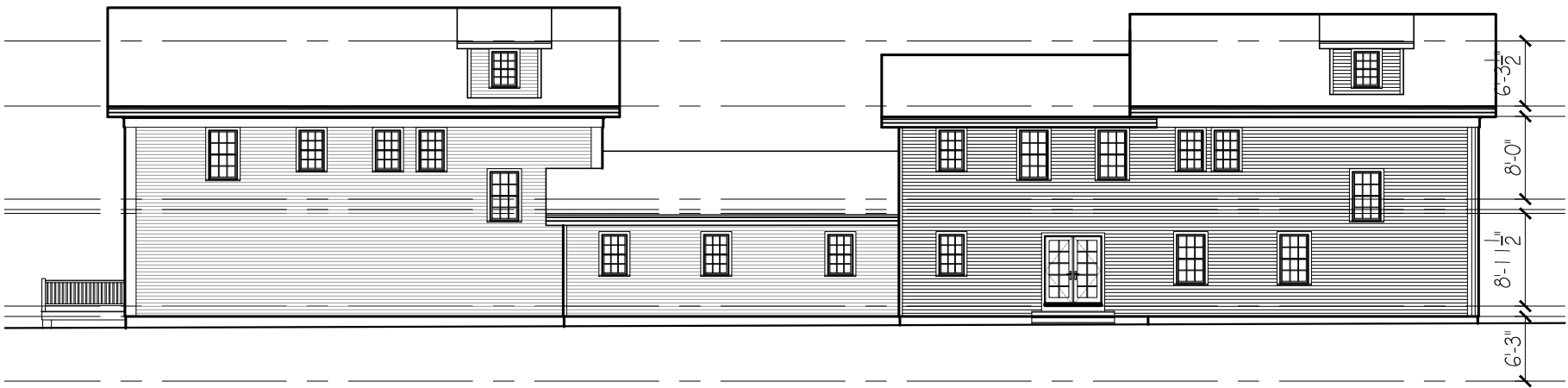
5

CURRENT PROPOSED

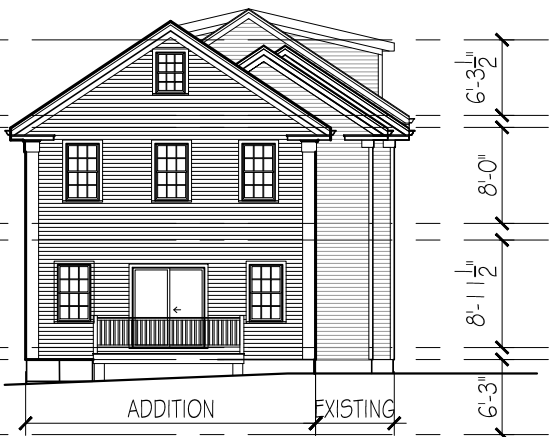


LEFT SIDE ELEVATION
1/16" = 1'-0"

PREVIOUSLY PROPOSED



LEFT SIDE ELEVATION
1/16" = 1'-0"



REAR ELEVATION
1/16" = 1'-0"



REAR ELEVATION
1/16" = 1'-0"

L.R. Designs

DESIGNERS, ARCHITECTS, DEVELOPMENT ADVISORS

165 FRANKLIN STREET
SUITE 5
ARLINGTON, MA 02153
617.563.2119
LRDESIGNS@GMAIL.COM

Project Title:

165 Franklin Street
Arlington, MA

Drawing Title:

PROPOSED RENOVATIONS:
EXTERIOR ELEVATIONS

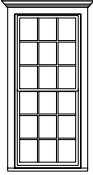
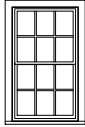
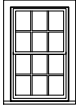

Revisions:
Description date

Project #
23057

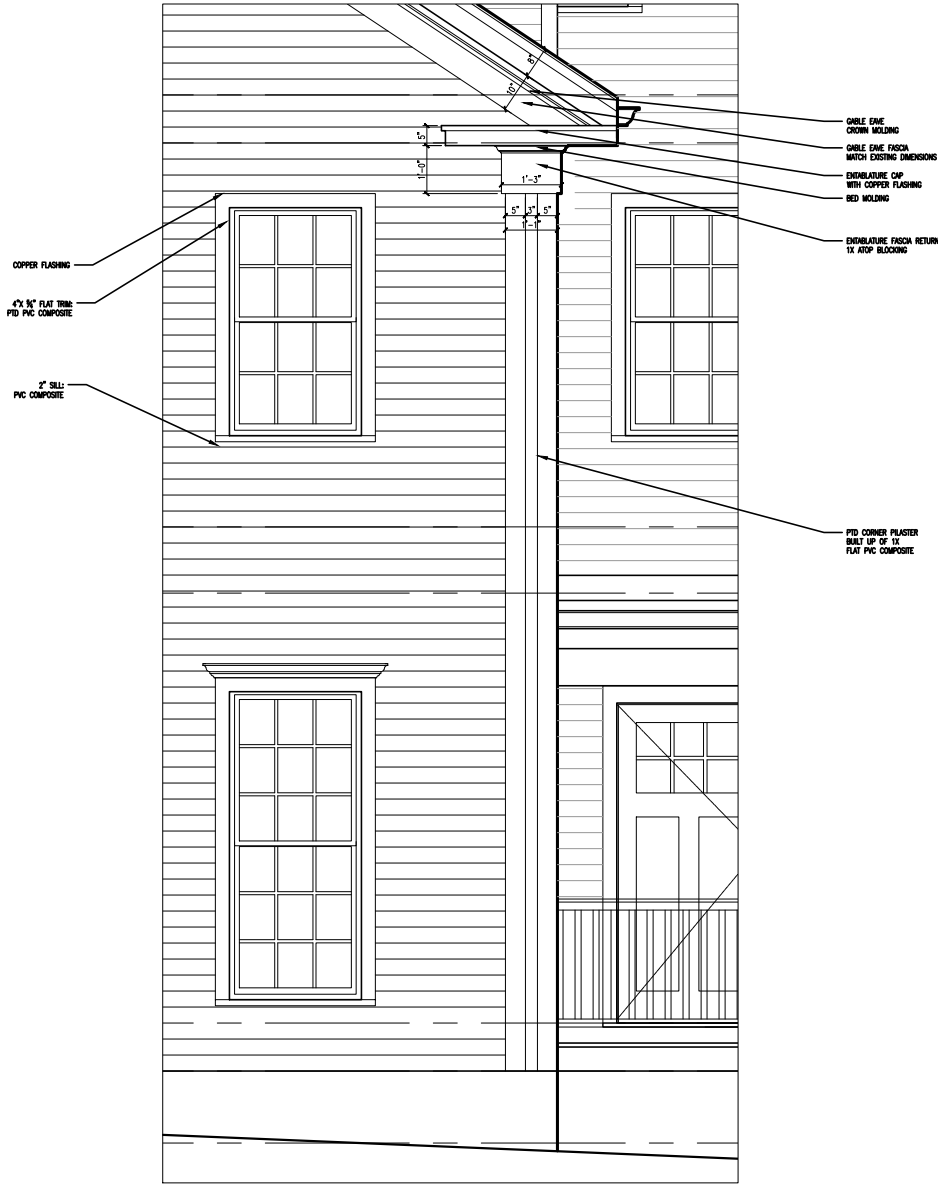
Scale:
1/16" = 1'-0"

Date:
07MAR24

Drawing #
A2.2

WINDOW SCHEDULE							
A		B		C		D	
							
ELEVATION - 1/4" = 1'-0"		ELEVATION - 1/4" = 1'-0"		ELEVATION - 1/4" = 1'-0"		ELEVATION - 1/4" = 1'-0"	
MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 3377	MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 3357	MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 2947	MANUFACTURER PELLA - LIFESTYLE	UNIT NUMBER 2941
WINDOW TYPE CLAD DOUBLE-HUNG		WINDOW TYPE CLAD DOUBLE-HUNG		WINDOW TYPE CLAD DOUBLE-HUNG		WINDOW TYPE CLAD DOUBLE-HUNG	
ROUGH OPENING 2'-9 3/4" x 6'-5 3/4"	HEADER HEIGHT TBD	ROUGH OPENING 2'-9 3/4" x 4'-9 3/4"	HEADER HEIGHT TBD	ROUGH OPENING 2'-5 3/4" x 3'-11 3/4"	HEADER HEIGHT TBD	ROUGH OPENING 2'-5 3/4" x 3'-5 3/4"	HEADER HEIGHT TBD
REMARKS: SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS: SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS: SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS		REMARKS: SIMULATED DIVIDED LITES TEMPERED AT ALL HAZARD LOCATIONS	

NOTES:
VERIFY ALL ROUGH OPENINGS. QUANTITIES SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
PROVIDE TEMPERED GLAZING AT ALL HAZARD LOCATIONS. VERIFY EGRESS DIMENSIONS AT REQUIRED LOCATIONS.



CORNER BOARD DETAILS
1/4" = 1'-0"

BUILDING AREA CALCULATIONS (GROSS SQ. FT.) - ZONING

	EXIST. AREA (ASSESSORS)	APPLICATION (TOTAL AREA)	PREVIOUSLY PROPOSED (TOTAL AREA)	CURRENT PROPOSED (TOTAL AREA)	CURRENT PROPOSED TOTAL ADDITION
BASEMENT (CELLAR)	1,159	1,964	2,355	1,927	
1ST FLOOR	1,661	2,474	2,490	2,603	
2ND FLOOR	1,183	2,567	2,371	2,603	
ATTIC (SURVEYED)	99	558	452	493	
GARAGE (ACCESSORY PARKING)	0	606	548	549	
TOTAL GROSS FLOOR AREA	4102	7,563	7,668	7,077	2,975
TOTAL GROSS AREA	4102	8,169	8,216	7,626	

